

PB# 00-204

**First Columbia (SP)
Avenue of The Americas
Med. Office Bldg.
3-1-55**

00-204
(00-204)

First Columbia S.P.
Avenue of the Americas
40,000 S.F. Medical Office

TOWN OF NEW WINDSOR
PLANNING BOARD
APPROVED COPY

DATE: 9-26-02

7/24/02

Mark to review
Perf Omp Est.
+ send letter
to T.B. for
Perf-Bond Rec.
Need Mark's
fee

JB meeting
10-2-02

(15) Cya

**MOTION-AUTHORIZATION TO ESTABLISH A PUBLIC IMPROVEMENT BOND - FIRST
COLUMBIA MEDICAL OFFICE BUILDING SITE PLAN**

Motion by Council Sinnegar seconded by Council Mullerky that the Town Board of the Town of New Windsor establish a Public Improvement Bond for First Columbia Medical Office Building Site Plan in the amount of \$78,260.00 plus an inspection fee of \$3,130.40 representing 4% of the public improvement bond amount as per the recommendation of McGoey, Hauser and Edsall Consulting Engineers, P.C., under the date September 23, 2002.

ROLL CALL: All Ayes

MOTION CARRIED: 5-0



**McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS P.C.**

RICHARD D. McGOEY, P.E. (NY & PA)
WILLIAM J. HAUSER, P.E. (NY & NJ)
MARK J. EDSALL, P.E. (NY, NJ & PA)
JAMES M. FARR, P.E. (NY & PA)

Main Office
33 Airport Center Drive
Suite #202
New Windsor, New York 12553
(845) 567-3100
e-mail: mheny@mhepc.com

Regional Office
507 Broad Street
Milford, Pennsylvania 18337
(570) 296-2765
e-mail: mhepa@mhepc.com

Writer's e-mail address:
mje@mhepc.com

23 September 2002

Town of New Windsor
555 Union Avenue
New Windsor, New York 12553

ATT: SUPERVISOR MEYERS and TOWN BOARD MEMBERS

SUBJECT: FIRST COLUMBIA – MEDICAL OFFICE BUILDING SITE PLAN (00-204)
RECOMMENDATION OF PUBLIC IMPROVEMENT BOND AMOUNT

Dear Supervisor Meyers and Board Members:

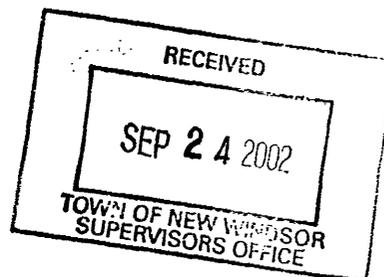
The subject site plan application previously received conditional approval from the planning board. Subsequent to the approval, the applicant has been proceeding with compliance with the various conditions of approval. Toward this goal, First Columbia has recently submitted an updated/corrected bond estimate for the public improvements on the project.

It is our recommendation that the Town Board approve the bond for the public improvements associated with this application in the amount of **\$78,260** as per the attached cost estimate. If approved, the applicant should make payment to the Town for inspection fees, in the amount of **\$3,130.40**, which represents 4% of the cost estimate, in conformance with Chapter 19 of the code.

Should you have any questions concerning the above, please do not hesitate to contact the undersigned.

Very truly yours,
McGOEY HAUSER & EDSALL
CONSULTING ENGINEERS, P.C.

Mark J. Edsall, P.E.
Mark J. Edsall, P.E.
Engineer for the Planning Board



**Public Improvement
Cost Estimate**

<u>ITEM</u>	<u>QUANTITY</u>	<u>UNIT PRICE</u>	<u>TOTAL</u>
First Columbia MOB P.I. Cost Est.			
<u>Roadway Improvements</u>			
Roadway Subbase	583 cy	\$20.00 cy	\$11,660.00
Asphalt Paving 5" thick	1750 sy	\$12.50 sy	\$21,875.00
Tack Coat	1750 sy	\$0.40 sy	\$700.00
Roadway ROW Topsoil & Seeding	1250 sy	\$2.00 sy	\$2,500.00
Roadway As-builts	1 ea.	\$2,000.00 ls	\$2,000.00
Street Signs	1 ea	\$125.00 ea	\$125.00
Street ID Sign	1 ea	\$150.00 ea	\$150.00
Concrete Curbing	900 l.f.	\$19.00 lf	\$17,100.00
		Sub-Total	\$56,110.00
<u>Drainage Improvements</u>			
Catch Basin	2 ea.	\$1,300.00 ea.	\$2,600.00
15" HDPE	175 l.f.	\$30.00 lf	\$5,250.00
		Sub-Total	\$7,850.00
<u>Water Improvements</u>			
12" DI Watermain	210 lf	\$50.00 lf	\$10,500.00
12" Gate Valve	1 ea	\$2,000.00 ea	\$2,000.00
Hydrant Assembly	1 ea	\$1,800.00 ea	\$1,800.00
		Sub-Total	\$14,300.00
		GRAND TOTAL	<u>\$78,260.00</u>



1763

TOWN OF NEW WINDSOR

555 UNION AVENUE
NEW WINDSOR, NEW YORK 12553
Telephone: (845) 563-4611
Fax: (845) 563-4693

OFFICE OF THE TOWN CLERK
DEBORAH GREEN

October 4, 2002

First Columbia, LLC
26 Century Hill Drive
Latham, NY 12110

Dear Sir:

Attached is a certified copy of a resolution approved by the Town of New Windsor Town Board on October 2, 2002, establishing a Public Improvement Bond for First Columbia Medical Office Building Site Plan in the amount of \$78,260.00 plus an inspection fee of \$3,130.40 representing 4% of the public improvement bond amount as per the recommendation of McGoey, Hauser and Edsall Consulting Engineers, P.C., under the date of September 23, 2002.

Very truly yours,

Deborah Green, Town Clerk
Town of New Windsor

Dg

Cc: Myra Mason, Planning Department



1763

TOWN OF NEW WINDSOR

555 UNION AVENUE
NEW WINDSOR, NEW YORK 12553
Telephone: (845) 563-4611
Fax: (845) 563-4670

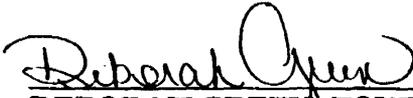
OFFICE OF THE TOWN CLERK
DEBORAH GREEN

CLERK'S CERTIFICATE

I, DEBORAH GREEN, Town Clerk of the Town of New Windsor in the County of Orange, State of New York, HEREBY CERTIFY that the below extract of the minutes has been compared by me with the minutes of the Town Board of the Town of New Windsor in the County of Orange, State of New York, held on the 2nd day of October, 2002, and the same is a true and correct transcript therefrom and of the whole thereof so far as the same relates to the subject matter referred to.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the Corporate seal of said Town, this 4th day of October, 2002.

TOWN SEAL


DEBORAH GREEN, TOWN CLERK
TOWN OF NEW WINDSOR

Motion by Councilman Finnegan, seconded by Councilwoman Mullarkey that the Town Board of the Town of New Windsor establish a Public Improvement Bond for First Columbia Medical Office Building Site Plan in the amount of \$78,260.00 plus an inspection fee of \$3,130.40 representing 4% of the Public Improvement Bond amount as per the recommendation of McGoey, Hauser & Edsall Consulting Engineers, P.C. under the date of September 23, 2002.

ROLL CALL: All Ayes

MOTION CARRIED: 5-0

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 09/30/2002

PAGE: 1

LISTING OF PLANNING BOARD FEES
4% FEE

FOR PROJECT NUMBER: 0-204

NAME: NEW YORK INTERNATIONAL PLAZA MEDICAL OFFICE BLDG.
APPLICANT: FIRST COLUMBIA

--DATE--	DESCRIPTION-----	TRANS	--AMT-CHG	-AMT-PAID	--BAL-DUE
09/25/2002	PUB IMP 4% OF 78,260.	CHG	3130.40		
09/25/2002	PR. IMP 2% OF 191,709.96	CHG	3834.20		
09/30/2002	REC. CK. # 10013	PAID		3130.40	
09/30/2002	REC. CK. #10012	PAID		3834.20	
		TOTAL:	6964.60	6964.60	0.00


9/30/02

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 09/30/2002

PAGE:

LISTING OF PLANNING BOARD FEES
ESCROW

FOR PROJECT NUMBER: 0-204

NAME: NEW YORK INTERNATIONAL PLAZA MEDICAL OFFICE BLDG.
APPLICANT: FIRST COLUMBIA

--DATE--	DESCRIPTION-----	TRANS	--AMT-CHG	-AMT-PAID	--BAL-DU
12/11/2000	RECEIVED CHECK #1773	PAID		750.00	
12/13/2000	P.B. ATTY. FEE	CHG	35.00		
12/13/2000	P.B. MINUTES	CHG	31.50		
01/10/2001	P.B. ATTY. FEE	CHG	35.00		
01/10/2001	P.B. MINUTES	CHG	22.50		
02/14/2001	P.B. ATTY.FEE	CHG	35.00		
02/14/2001	P.B. MINUTES	CHG	54.00		
06/27/2001	P.B. ATTY FEE	CHG	35.00		
06/27/2001	P.B. MINUTES	CHG	36.00		
09/25/2002	P.B. ENG. FEE	CHG	1602.10		
09/30/2002	REC. CK. #10010	PAID		1136.10	
		TOTAL:	1886.10	1886.10	0.00



**Town of New Windsor
555 Union Avenue
New Windsor, NY 12553
(845) 563-4611**

**RECEIPT
#881-2002**

09/30/2002

PB# 00-204 Approval Fee
**First Columbia L L C
26 Century Hill Drive, Suite 101
Latham, NY 12110**

Received \$ 100.00 for Planning Board Fees on 09/30/2002. Thank you for stopping by the Town Clerk's office.

As always, it is our pleasure to serve you.

**Deborah Green
Town Clerk**

ATTN: Dick McGary.



FIRST COLUMBIA

January 7, 2002

Attn: Mr. Thomas Myers
Civil Engineer I
New York State Dept. of Transportation
4 Burnett Blvd.
Poughkeepsie, NY 12603-2594

*Rec'd
1/8/02
File
w/ Medical
Office
Building*

Re: Route 207/ Avenue of the Americas
Curb Cut Permit

Dear Mr. Myers:

First Columbia is requesting that Highway Work Permit be granted for the repair of the existing Town Road, Avenue of the Americas, within the NYSDOT R.O.W at the intersection of Avenue of the Americas and NYS Route 207. Attached please find the application and proposed construction plans including site distance evaluation dwgs. (three sets), for your use. Please note, the required fees have been paid (not returned to us as indicated in your letter dated 9/11/01) and should be applied to this submittal.

As indicated, sight distance analysis drawings are attached. The sight distance analysis was prepared in accordance with the New York State Department of Transportation Policy and Standards for Entrances to State Highways (February 1998 edition). The analysis shows the sight lines associated with the intersection sight distance, stopping sight distance and left turn sight distance using the values shown for a two-lane, 40 MPH road. Sight distances are acceptable for trucks, except the intersection sight distance (access to Route 207 from Ave. of the Americas). The intersection sight distance for Avenue of the Americas looking left and right is obstructed due to the roadway horizontal and vertical curves. Grading within the R.O.W., as shown, will provide the required sight distance for passenger cars. Sight distances for trucks would require a considerable amount of grading looking east (left) using the eye height and object height indicated.

Kindly review and approve the Highway Work Permit. The modifications shown will repair a deficient condition, providing safe access to and from Route 207. If you should have any questions, please do not hesitate to call me.

Sincerely,

Christopher J. Bette, P.E.
Project Manager

CJB/at
Attachment

cc: Mark Edsall, TNW Planning Board Engineer
Joe Lanaro, The Chazen Companies
File



STATE OF NEW YORK
DEPARTMENT OF TRANSPORTATION

New York State Department of Transportation
Highway Permit Section
The State Campus
1220 Washington Avenue
Bldg. 5, Room 311
Albany, New York 12232-0466
(518) 457-1155 1-888-783-1685

**CERTIFICATE OF INSURANCE FOR SPECIAL HAULING, DIVISIBLE LOAD WEIGHT
AND HIGHWAY WORK PERMIT INSURANCE REQUIREMENTS**

To be prepared by insurance agent or insurance company

1. Name of Permit Applicant First Columbia, LLC.
(NAME ON INSURANCE CERTIFICATE AND PERMIT APPLICATION MUST BE IDENTICAL - ONE NAME ONLY)
2. Address of Permit Applicant 26 Century Hill Drive, Latham, NY 12110
 PLEASE CHECK HERE IF THIS IS A CHANGE OF ADDRESS
3. Telephone Number of Permit Applicant (518) 213-1000
4. Permit Account Number N/A
(If a Permit Account Number has been established for the Permit Applicant, the number must be indicated here)
5. Policy Number CK03102318
Binders, fax copies and unassigned policy numbers valid for 30 days only
6. Effective Date 10/19/00 Expiration Date 10/19/01
Only ONE set of dates will be accepted The wording "Continuous Until Cancelled" in place of expiration date is acceptable
7. Type of Policy (Check one): Protective Liability Motor Vehicle Liability

THIS CERTIFICATE OF INSURANCE WILL SUPERSEDE ALL OTHER CERTIFICATES OF INSURANCE NOW ON FILE WITH THE DEPARTMENT OF TRANSPORTATION; EXCEPT FOR HIGHWAY WORK PERMITS, UNLESS SPECIFICALLY NOTED.

If the Permit Applicant is applying for a Divisible Load Weight Permit, the information must be as it appears on the Applicant's Motor Vehicle Registration.

Liability insurance must be in effect for the full term of the Permit. Expiration of, or lack of, liability insurance automatically terminates the Permit.

Permittees are responsible for providing the Certificate of Insurance to the Department of Transportation, and for renewing the requisite insurance coverage no later than two (2) weeks prior to its expiration in order to renew, to keep in effect, or to obtain a new Highway Permit. Altered certificates will NOT be accepted. Fax copies will be accepted for a period of 30 days only. FAX TO: 518-457-0367. Original Certificate must be received in this office within the 30 day period.

In accordance with Department of Transportation requirements (See NYCRR, Title 17, Part 154), the subscribing insurance company hereby certifies that a protective liability insurance policy (only option for Highway Work Permits) or, in the alternative, a motor vehicle insurance policy and endorsement has been issued to the permit applicant:

- A. if a protective liability insurance policy, for the protection of the People of the State of New York, all municipal subdivisions thereof, and the Commissioner and Department of Transportation, the New York State Thruway Authority, the State Bridge Authority and their officials, officers, and employees as named insureds, (and no other co-insureds), covering bodily injury (including death) with minimum limits of \$500,000 each occurrence and covering property damage with minimum limits of \$100,000 each accident and minimum aggregate annual limits of \$500,000, against actions resulting from use of a Highway Permit by the Permittee or by any person acting by, through or for the Permittee, including omissions and supervisory acts of any of the named insureds; or
- B. if a motor vehicle insurance policy and endorsement, with the People of the State of New York, all municipal subdivisions thereof, and the Commissioner and Department of Transportation, the New York State Thruway Authority, the State Bridge Authority and their officials, officers, and employees as additional insureds under the policy, covering bodily injury (including death) with minimum limits of \$750,000 each occurrence and covering property damage with minimum limits of \$250,000 each occurrence or \$1 million dollars combined single limit each occurrence.

Reverse Side MUST Be Completed

STATE OF NEW YORK DEPARTMENT OF TRANSPORTATION
HIGHWAY WORK PERMIT APPLICATION FOR NON-UTILITY WORK

PREPARE 3 COPIES
(photocopies acceptable)

JUL 10 2001

Application is hereby made for a highway work permit:

For Joint application, name and address of Second Applicant below:

Name First Columbia, LLC.

Name _____

Address 26 Century Hill Drive

Address _____

City Latham State NY Zip 12110

City _____ State _____ Zip _____

Federal I.D. No. or Social Security No. 14-1800901

Applicant Telephone No. (518) 213-1000

Contact person in case of emergency Christopher Bette

Telephone No. of contact person (518) 281-4232

Project Identification No. 8011836
Highway Work Permit No. _____

RETURN PERMIT TO: (If different from above)

RETURN OF DEPOSIT/BOND TO: (Complete only if different from permittee)

Name _____

Name _____

Address _____

Address _____

City _____ State _____ Zip _____

City _____ State _____ Zip _____

1. Estimated cost of work being performed in state highway right-of-way \$ \$2,000.00

2. Anticipated duration of work: From June ~~1st~~ 2001 thru December ~~1st~~ 2001, to apply to the operation(s) checked on the reverse side.

3. Protective Liability Insurance covered by Policy No. CK03102318; expires on October 19 ~~1st~~ 2001

4. A \$20.00 fee will be charged for checks returned by the bank.

PROPOSED WORK (Brief description): Improvement of existing curb cut at Rte 207 and avenue of the Americas (former Underhill Road)

TEAR ON PERFORATION

ATTACHED: Plans Specifications _____ LOCATION: State Route 207 State Highway _____

between Reference Marker _____ and Reference Marker _____

Town of: New Windsor County of: Orange

SEQR REQUIREMENTS: (Check appropriate item)

Exempt Ministerial Type II EIS or DEIS Lead Agency Town Planning Board

If project is identified to be ministerial, exempt, or TYPE II, no further action is required.

If project is determined to be other than ministerial, exempt, or TYPE II, refer to M.A.P.7.12-2, Appendix A SEQR REQUIREMENTS FOR HIGHWAY WORK PERMITS.

Acceptance of the requested permit subjects the permittee to the restrictions, regulations and obligations stated on this application and on the permit.

Applicant Signature Christopher Bette Date June 5 19 2001

Second Applicant Signature _____ Date _____ 19 _____

Approval recommended June 22 19 01 By Resident Engineer J. Taha Residency No. 4
Approved _____ 19 _____ By Regional Traffic Engineer _____ Region No. _____



1763

TOWN OF NEW WINDSOR

555 UNION AVENUE
NEW WINDSOR, NEW YORK 12553
Telephone: (914) 564-6660
Fax: (914) 563-4693

OFFICE OF THE SUPERINTENDENT OF HIGHWAYS
W. James Pullar

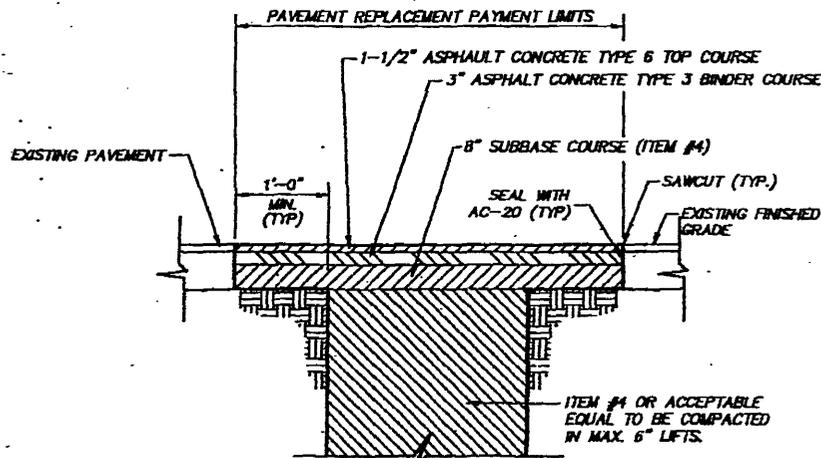
SPECIFICATIONS FOR STREET OPENING PERMIT

1. Saw or line cut pavement for trench.
2. Excavated material to be removed from job site.
3. Backfill to be Item #4.
4. Crushed stone may be used in bottom of trench for wet conditions.
5. Compaction to be in six (6) inch lifts.
6. Trench to be maintained for settlement if need be until pavement placement.
7. Pavement replacement - minimum of five (5) inches of hot mix asphalt concrete and placed within two weeks of initial opening of trench.
8. Contractor is responsible for any settlement that might occur for six months.
9. Work zone signs to be posted in accordance to MUTCD (Manual of Uniform Traffic Control Devices) Construction section.
10. Flag person will be used to control traffic if necessary.
11. If the work necessitates a road closure to traffic, the necessary signs are to be posted and the following agencies must be notified before proceeding:

New Windsor Police	565-7000
New Windsor Ambulance	565-3320
New Windsor Fire Department	561-3112
Vails Gate Fire Department	561-2020
New Windsor Highway Department	564-6660

New Windsor Police may notify fire and ambulance if you request it. Upon completion of work, the above agencies must be again notified that the road is open to traffic.

If there is any question, contact the Town of New Windsor Highway Department at 564-6660.



PAVEMENT REPLACEMENT DETAIL

SCALE : NONE

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 09/30/2002

PAGE: 1

LISTING OF PLANNING BOARD AGENCY APPROVALS

FOR PROJECT NUMBER: 0-204

NAME: NEW YORK INTERNATIONAL PLAZA MEDICAL OFFICE BLDG.

APPLICANT: FIRST COLUMBIA

DATE-SENT	AGENCY-----	DATE-RECD	RESPONSE-----
REV2	06/21/2001 MUNICIPAL FIRE	06/25/2001	APPROVED COND . SITE PLAN IS ACCEPTABLE, HOWEVER, CORRECTION MEASURES TO THE . WATER SYSTEM WILL BE NEEDED TO CONFORM WITH THE INSURANCE . SERVICE OFFICE (ISO) REQUIREMENTS. . 09-30-02 SPOKE TO BOB RODGERS - CORRECTIONS WERE MADE AN . APPROVAL HAS BEEN GRANTED BY FIRE INSPECTOR'S OFFICE
REV1	02/15/2001 MUNICIPAL HIGHWAY	02/15/2001	APPROVED COND . SUBJECT TO A NOTE ON THE PLAN INDICATING THE ROAD WILL MEET . TOWN SPECIFICATIONS.
REV1	01/05/2001 MUNICIPAL HIGHWAY	01/10/2001	DISAPPROVED . ROAD CONDITIONS NOT IN COMPLIANCE WITH TOWN SPECIFICATIONS
REV1	01/05/2001 MUNICIPAL WATER	01/10/2001	APPROVED
REV1	01/05/2001 MUNICIPAL SEWER	/ /	
REV1	01/05/2001 MUNICIPAL FIRE	01/08/2001	APPROVED
REV1	01/05/2001 NYS DOT	/ /	
ORIG	12/11/2000 MUNICIPAL HIGHWAY	12/12/2000	APPROVED
ORIG	12/11/2000 MUNICIPAL WATER	12/19/2000	APPROVED . WATER LINE ENDS AT RT. 207 & MT. AIRY ROAD - OTHER ACCESS . SHOULD BE DISCUSSED
ORIG	12/11/2000 MUNICIPAL SEWER	01/05/2001	SUPERSEDED BY REV1
ORIG	12/11/2000 MUNICIPAL FIRE	12/12/2000	APPROVED
ORIG	12/11/2000 NYS DOT	01/05/2001	SUPERSEDED BY REV1

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 06/27/2001

PAGE:

LISTING OF PLANNING BOARD SEQRA ACTIONS

FOR PROJECT NUMBER: 0-204

NAME: NEW YORK INTERNATIONAL PLAZA MEDICAL OFFICE BLDG.
APPLICANT: FIRST COLUMBIA

	DATE-SENT	ACTION-----	DATE-RECD	RESPONSE-----
ORIG	12/11/2000	EAF SUBMITTED . REVISED EAF SUBMITTED WITH REVISION TO ADD 10,000 S.F. TO . PROPOSED BUILDING - 6-22-01	12/11/2000	WITH APPLIC
ORIG	12/11/2000	CIRCULATE TO INVOLVED AGENCIES	/ /	
ORIG	12/11/2000	LEAD AGENCY DECLARED	12/13/2000	TOOK L.A.
ORIG	12/11/2000	DECLARATION (POS/NEG)	02/14/2001	DECL. NEG DEC
ORIG	12/11/2000	SCHEDULE PUBLIC HEARING	01/10/2001	SCHEDULE PH
ORIG	12/11/2000	PUBLIC HEARING HELD	02/14/2001	HELD PH
ORIG	12/11/2000	WAIVE PUBLIC HEARING	/ /	
ORIG	12/11/2000	AGRICULTURAL NOTICES	/ /	

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 09/30/2002

PAGE:

LISTING OF PLANNING BOARD **FEES**
APPROVAL

FOR PROJECT NUMBER: 0-204

NAME: NEW YORK INTERNATIONAL PLAZA MEDICAL OFFICE BLDG.

APPLICANT: FIRST COLUMBIA

--DATE--	DESCRIPTION-----	TRANS	--AMT-CHG	-AMT-PAID	--BAL-DU
09/25/2002	SITE PLAN APPROVAL FEE	CHG	100.00		
09/30/2002	REC. CK. #10011	PAID		100.00	
		TOTAL:	100.00	100.00	0.00

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 09/26/2002

PAGE: 1

LISTING OF PLANNING BOARD FEES
ESCROW

FOR PROJECT NUMBER: 0-204

NAME: NEW YORK INTERNATIONAL PLAZA MEDICAL OFFICE BLDG.
APPLICANT: FIRST COLUMBIA

--DATE--	DESCRIPTION-----	TRANS	--AMT-CHG	-AMT-PAID	--BAL-DUE
12/11/2000	RECEIVED CHECK #1773	PAID		750.00	
12/13/2000	P.B. ATTY. FEE	CHG	35.00		
12/13/2000	P.B. MINUTES	CHG	31.50		
01/10/2001	P.B. ATTY. FEE	CHG	35.00		
01/10/2001	P.B. MINUTES	CHG	22.50		
02/14/2001	P.B. ATTY.FEE	CHG	35.00		
02/14/2001	P.B. MINUTES	CHG	54.00		
06/27/2001	P.B. ATTY FEE	CHG	35.00		
06/27/2001	P.B. MINUTES	CHG	36.00		
09/25/2002	P.B. ENG. FEE	CHG	1602.10		
		TOTAL:	1886.10	750.00	1136.10

Check #1

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 09/26/2002

PAGE: 1

LISTING OF PLANNING BOARD FEES
APPROVAL

FOR PROJECT NUMBER: 0-204

NAME: NEW YORK INTERNATIONAL PLAZA MEDICAL OFFICE BLDG.
APPLICANT: FIRST COLUMBIA

--DATE--	DESCRIPTION-----	TRANS	--AMT-CHG	-AMT-PAID	--BAL-DUE
09/25/2002	SITE PLAN APPROVAL FEE	CHG	100.00		
		TOTAL:	100.00	0.00	100.00

Check #2

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 09/26/2002

PAGE: 1

LISTING OF PLANNING BOARD FEES
4% FEE

FOR PROJECT NUMBER: 0-204

NAME: NEW YORK INTERNATIONAL PLAZA MEDICAL OFFICE BLDG.
APPLICANT: FIRST COLUMBIA

--DATE--	DESCRIPTION-----	TRANS	--AMT-CHG	-AMT-PAID	--BAL-DUE
09/25/2002	PUB IMP 4% OF 78,260.	CHG	3130.40	<i>check #3</i>	
09/25/2002	PR. IMP 2% OF 191,709.96	CHG	3834.20	<i>check #4</i>	
		TOTAL:	6964.60	0.00	6964.60

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 09/26/2002

PAGE: 1

LISTING OF PLANNING BOARD FEES
PERFORMANCE BND

FOR PROJECT NUMBER: 0-204

NAME: NEW YORK INTERNATIONAL PLAZA MEDICAL OFFICE BLDG.
APPLICANT: FIRST COLUMBIA

--DATE--	DESCRIPTION-----	TRANS	--AMT-CHG	-AMT-PAID	--BAL-DUE
09/25/2002	NO PERF BOND PER MARK	CHG	0.00		
		TOTAL:	0.00	0.00	0.00

Cost Estimate

<u>ITEM</u>	<u>QUANTITY</u>	<u>UNIT PRICE</u>	<u>TOTAL</u>
<u>PARKING ACCESS:</u>			
A) Concrete Curbing	2,640 l.f.	\$10.00 l.f.	\$26,400.00
C) Asphalt Paving	99,533 sq.f	\$1.12 sq.ft	\$111,476.96
D) Striping and Space Delineation	286 sp.	\$8.00 sp.	\$2,288.00
E) Handicap Parking Sign and Delineation	8 sp.	\$125.00 sp.	\$1,000.00
F) Stop Sign	2 ea.	\$100.00 ea.	\$200.00
G) Project Sign	1 ea.	\$1,000.00 ea.	\$1,000.00
H) Stormwater Catch Basins	6 ea.	\$1,000.00 ea.	\$6,000.00
I) Concrete Sidewalk	1,700 s.f.	\$3.90 s.f.	\$6,630.00
J) 15" CPEP	662 l.f.	\$20.00 l.f.	\$13,240.00

Sub-Total

\$168,234.96

9/5/01
 OK
 for Private Improvement
 (still need public estimate)


\$ 191,709.96

*2%
 Inspect
 fee*

\$ 3,834.20

<u>ITEM</u>	<u>QUANTITY</u>	<u>UNIT PRICE</u>	<u>TOTAL</u>
<u>LANDSCAPING:</u>			
A) Trees	50 ea.	\$125.00 ea.	\$6,250.00
B) Shrubs	185 ea.	\$25.00 ea.	\$4,625.00
C) Lithonia KSF1 250 Watt Metal Halide	14 ea.	\$900.00 ea.	\$12,600.00
Sub-Total			\$23,475.00
GRAND TOTAL			<u>\$191,709.96</u>

Mason, Myra

From: Mark J. Edsall [mje@mhepc.com]
Sent: Monday, September 16, 2002 1:57 PM
To: cbette@firstcolumbia.com
Cc: mmason@town.new-windsor.ny.us; mje@mhepc.com
Subject: Medical Office Building



PUBLICIMPROVEME
NTBONDUNITPRICE...



ATT00008.txt

Chris,

On 5 August 2002 I sent you an e-mail which was written pursuant to a request to close out the project approvals.

In my e-mail, I noted that "One open item is Town Board approval of the bond estimate for public improvements".

I attached a standard schedule of fees which you should be using on all cost estimates of public improvements.

I asked that you update the estimate ASAP, using the standard unit prices. I specifically asked that you use SY for road pavement, not tons, and update any other items that need updating.

I asked that you email me the corrected estimate asap, so i could get it to George Meyers for the August meeting.

I received today your fax with the public improvement cost estimate. Note the following:

1. The asphalt paving is still in ton units, in contrast to our request.
2. The concrete curb unit price should be \$19
3. The "house services" value is not applicable to commercial, and should be increased appropriately.

You note in the transmittal note that " a major portion of the public costs were part of the LSI Lightron Public cost estimate." There is no need for duplication, and we do not want to double bond or double fee anything. Please provide a key plan to distinguish what areas were in the LSI P/I estimate and what is covered by this one. We will check.

It is now mid-september and we need to have the board approve the bond amount still. The next meeting is the first week of October. Please send me the above asap.

Regarding the private estimate, it is my understanding this is already approved. Myra, if not, please advise asap.

Mark

Mark J. Edsall, P.E.
McGoey, Hauser & Edsall, C.E., P.C.
33 Airport Center Drive, Suite 202
New Windsor, NY 12553



FIRST COLUMBIA

November 8, 2001

Honorable James Petro, Jr.
Chairman, Town of New Windsor Planning Board
c/o Myra Mason, Planning Board Secretary
555 Union Ave.
New Windsor, NY 12253

Re: Medical Office Building
New York International Plaza

Dear Chairman Petro:

As a condition of the approval for the Medical Building, the Planning Board required intersection improvements for the Rte. 207/ Ave. of the Americas intersection. First Columbia has been actively pursuing the necessary Highway Work Permit, from the NYSDOT to make these improvements. Unfortunately, the NYSDOT will not issue any permit until they review and approve the overall redevelopment traffic study and plan.

We are working on both the traffic study and the overall plan but as you know, the review of both will take months. First Columbia is anticipating, applying for the building permit soon. However, we cannot obtain the building permit without the Planning Boards sign-off. Therefore, we would ask that the Planning Board allow the building permit to be obtained, realizing that the building can be accessed from the internal roads of New York International Plaza.

If acceptable, we would ask that the medical building approval be amended to allow us the ability to pull the building permit and start construction. Access can be provided from the realigned Ave. of the Americas (work done as part of the LSI Lightron, Inc. project) and the interior New York International Plaza roads. Conceivably, during construction of the medical building, the review of the overall plan could be completed, thus allowing the intersection repairs to be performed in conjunction with opening the building.

Kindly let me know if this is acceptable. If so, please let me know what materials you may need to amend the approval. If you should have any questions, please do not hesitate to call me.

Sincerely,

Christopher J. Bette, P.E.
Project Manager

CJB/at

cc: File

A. Meyers
cc: *Jim Petro*
Mark Edsall

RECEIVED

NOV 14 2001



STATE OF NEW YORK
DEPARTMENT OF TRANSPORTATION
ALBANY, N.Y. 12232

JOSEPH H. BOARDMAN
COMMISSIONER

GEORGE E. PATAKI
GOVERNOR

WILLIAM D. FITZPATRICK, P.E.
REGIONAL TRAFFIC ENGINEER
(845) 575-6040

September 11, 2001

Mr. Christopher Bette
First Columbia, LLC
26 Century Hill Drive
Latham, NY 12110

Re: **Access Drive, Route 207 (SH 153)
Medical Office Building
New York International Plaza
Town of New Windsor, Orange County**

Dear Mr. Bette:

This is in regard to your application for a Highway Work Permit to improve the abandoned former Underhill Road-Route 207 intersection for access to the New York International Plaza-50,000 Medical Office Building.

Upon our being made aware of the scope of the New York International Plaza development concept, we have determined that we are unable to approve this portion of the development without additional information. We will need to know the anticipated full development traffic generation, analysis of impacts upon the existing road network, and proposed measures to mitigate the identified impacts.

We are returning herewith your permit applications, Insurance Certificate and a copy of a letter from Mr. Timothy O'Brian of BL Companies, concerning additional development on this site, which would be expected to use the proposed access. We are also contacting our administrative office to issue you a refund of the \$550.00 permit fee.

Our major concern in this matter is that we locate a point of access with good sight distance, operational capacity for this and future use and designed with geometrics based on a common design vehicle. In this case, that vehicle may be a WB-50 or WB-62 truck, rather than a passenger vehicle, which would be typical for a Medical Office Building.

If you require additional information or assistance, please feel free to contact this office .

Very truly yours,


T.A. Myers
Civil Engineer I

TAM/lml

Attachment

cc: T. Tobin, Res. Eng., Res. 8-4
J. Stamant /R. Burns, Permit Engineers, Res. 8-4
Town of New Windsor Planning Board
J. Hunt, Permit Engineer, Reg. 8

CC: M.E. - Fax



Town of New Windsor

555 Union Avenue
New Windsor, New York 12553
Telephone: (845) 563-4615
Fax: (845) 563-4693

OFFICE OF THE PLANNING BOARD

17 January 2001

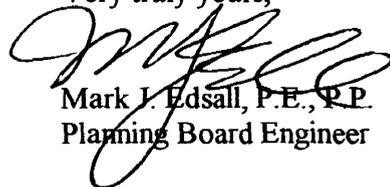
**SUBJECT: FIRST COLUMBIA MEDICAL OFFICE SITE PLAN
TOWN OF NEW WINDSOR, ORANGE COUNTY, NEW YORK
(NWPB REF. NO. 00-204)**

To all Involved Agencies:

The Town of New Windsor Planning Board has had placed before it an application for Site Plan approval of the First Columbia Medical Office Building project, located off Route 207 within the Town. The project involves, in general, the construction of a 40,000 s.f. office building and related site improvements. It is the opinion of the Town of New Windsor Planning Board that the action is an Unlisted Action under SEQRA. Initially the Planning Board did not believe a permit would be required from the NYSDOT since an existing drive exists at the property. Since that time, it has been determined that the drive must be upgraded, which will require a Highway Work Permit. This letter is written as a request for Lead Agency Coordination as required under Part 617 of the Environmental Conservation Law.

A letter of response with regard to your interest in the position of Lead Agency, as defined by Part 617, Title 6 of the Environmental Conservation Law and the SEQRA review process, sent to the Planning Board at the above address, attention of Mark J. Edsall, P.E., Planning Board Engineer (contact person), would be most appreciated. Should no other involved agency desire the Lead Agency position; it is the desire of the Town of New Windsor Planning Board to assume such role. Should the Planning Board fail to receive a written response requesting Lead Agency within thirty (30) days, it will be understood that you do not have an interest in the Lead Agency position. Thank you for your attention to this matter. Should you have any questions regarding this notice, please feel free to contact the undersigned at the above number or (845) 562-8640.

Very truly yours,



Mark J. Edsall, P.E., P.P.
Planning Board Engineer

NYS Department of Transportation, Poughkeepsie
George J. Meyers, Town of New Windsor Supervisor (w/o encl)
Town of New Windsor Town Clerk (w/o encl)
Myra Mason, Planning Board Secretary
Planning Board Attorney (w/o encl)
Applicant (w/o encl)

FIRST COLUMBIA - MEDICAL BUILDING AMENDMENT (00-204)

Mr. Jim Sperry, Mr. Chris Bette and Robert Sweeney, Esq. appeared before the board for this proposal.

MR. PETRO: Proposed 40,000 to 50,000 square feet.

MR. BETTE: I brought with me the plan that we had approved back in February for 40,000 square foot medical office building. You remember on 207 the corner of Avenue of the Americas we're in a, I guess a good position from our standpoint that since we have gotten this approved, we've gotten interest from an area hospital to provide outpatient services at this facility but unfortunately for us or for them is we had already commitments for the 40,000 square foot. So we suggested that we could increase or basically, if you want to throw that back up there again, take out the, we had a two wing concept with some other area, we suggested that we combine these two into one building which actually got a little longer and provide 10,000 square feet to accommodate this additional service. In addition to the building change, we had to add some parking for the 10,000 square feet which you'll notice we eliminated some on along here but we were able to provide some additional down here in the southeast corner. Originally, we had quite a few extra spaces than required. We had required 229 and we were providing 267. The new plan for the 50,000 square foot building would require 286 spaces and we're going to propose 286 spaces so we're here today I guess to ask the board for approval to amend our 40,000 square foot medical office building to allow a 50,000 square foot building on roughly the same amount of acreage. I think the impact, we own all the land around this, I think the impact to this site equated to less than a half an acre change, so I'll continue if you want some more or do you have enough? You can ask some questions.

MR. PETRO: I guess we'll take a motion for lead agency.

MR. LANDER: So moved.

MR. ARGENIO: Second it.

MR. EDSALL: Off the record.

(Discussion was held off the record)

MR. EDSALL: I'm suggesting that you not take lead agency separately as if that's a separate action because you've already declared yourself lead agency on the application, the application is still active, they had not had the plan stamped as of yet and they're merely asking to modify what's before the board and modify the approval. So my suggestion is that you evaluate whether your previous SEQRA determination is still appropriate and consider adopting a new negative dec which I believe you have one before you for consideration.

MR. PETRO: This increase is 25 percent in actual floor space, correct?

MR. KRIEGER: Correct, yes, they're going from two buildings of 20 each to one building of 50.

MR. PETRO: The only other outside affect on the property would be the parking, correct, otherwise, everything is going to be exactly the same.

MR. SPERRY: That's right. Only reconfiguration of the parking in this area and footprint itself as Chris indicated expanded slightly maintaining the front setback but a bit of an adjustment.

MR. PETRO: Almost identical, except you connected the two building and extend it slightly on the east?

MR. SPERRY: Yes, no change dimensionally across the site, only modification is just the parking.

MR. PETRO: SEQRA process, amended SEQRA resolution and findings.

MR. SPERRY: Mr. Chairman, the document restates exactly what you adopted in February and in addition to

that adds in the changes that are described tonight.

MR. PETRO: We have already what we have already adopted plus the changes I just mentioned.

MR. SWEENEY: And the conclusion that you'd come to if it's the board's determination is that the changes don't represent a significant environmental affect that would require something other than an amended negative dec.

MR. PETRO: Accept a motion to accept the amended SEQRA resolution and its findings.

MR. ARGENIO: I have one question, Andy, you reviewed this?

MR. KRIEGER: Yes, I have.

MR. ARGENIO: Take exception to nothing?

MR. KRIEGER: Same thing, I would make the same comments I made before with respect to the hard look and need to document that a little different here because you've already looked at the project and all you have to do at this point is to--

MR. PETRO: Amended SEQRA resolution findings for the motion dated February 14, 2001 and June 27, 2001 amended, is there a motion?

MR. LANDER: So moved.

MR. KARNAVEZOS: Second it.

MR. PETRO: Motion's been made and seconded that the New Windsor Planning Board accept the amended SEQRA Resolution and its findings with the dates I have just read in for the First Columbia Medical Office building. Is there any further discussion from the board members? If not, roll call.

NOW, THEREFORE, be it resolved that:

1. The Planning Board, acting as lead agency under

Article 8 of the Environmental Conservation Law and its implementing regulations at 6 NYCRR Part 617 (collectively, the "State Environmental Quality Review Act", or "SEQRA", has considered the Project as an "action" under SEQRA, and identified the relevant areas of environmental concern. The requirements of SEQRA have been met.

2. The Project, and the Project, as amended, constitute an Unlisted Action under SEQRA.

3. The annexed findings Statement is hereby adopted and incorporated herein by reference.

4. Based on the matters set forth in the Application, the EAF, the Site Plan and revised Site plans, the Findings Statement and the record, the Project will not have a significant adverse effect on the environment.

FINDINGS STATEMENT

A. THE PROJECT

1. First Columbia, LLC (the "Applicant") has submitted an application for site plan approval (the "Application") for a 40,000 square foot medical office building (the "Project") to be located on 3.8 acres of land at the northeast corner of the Route 207/Avenue of the Americas intersection (the "Site").

2. As more fully detailed on the revised Site Plans, the Applicant seeks to provide an additional 10,000 square feet of office space together with additional parking in connection with the Project.

2. Access to the Project, as amended, will continue to be provided from an existing access to NYS Route 207 to be improved as proposed in connection with the project.

3. The Site is zoned Airport-1 (AP-1) and the use is consistent with adjacent uses.

4. The Site is part of the New York International Plaza development, a 260 plus or minus acre previously developed area formerly occupied by United States

Military.

B UTILITIES

1. The Site lies within the Town of New Windsor water and sewer districts, and services can be extended from the former Wherry Housing area. Sufficient capacity exists for the projected 1600 gpd flows for the Project, and the de minimus additional requirements for the Project, as revised.
2. Electric and natural gas are available to the Site.
3. Stormwater will be collected and conveyed via on-site improvements for discharge to adjoining vacant properties of the Plaza. The addition of impervious area created is de minimus in nature and will not create a significant adverse environmental impact.

C. TRAFFIC, ACCESS AND PARKING

1. With the proposed widening and resurfacing improvements, the Project access from the former Underhill Road is adequate with respect to width, grade, alignment and visibility to service the projected 130 peak hour vehicle trips.
2. The addition of 32 new parking spaces proposed in addition to the 255 parking spaces originally approved complies with Town zoning requirements and the proposed parking layout provides appropriate on-site circulation, as well as safe and convenient access to the Project.
3. A NYSDOT highway work permit continues to be a requirement for access to NYS Route 207.
4. An adequate landscaped buffer will be constructed by the Applicant to screen the parking area from Route 207 and nearby properties.

D. PROCEDURAL ISSUES

1. The Project is within the New York International Plaza redevelopment area. There is no present overall

proposed redevelopment plan on record for the Plaza. However, the Planning Board acknowledges that the overall redevelopment plan in the future as redevelopment options become more defined and certain.

2. The Planning Board finds that, in the absence of a current, concrete redevelopment plan, the approval of the Project does not represent the "segmenting" of the Project from future development in the area.

3. In the event the approval of the Project could be considered "segmentation" as that term is used in SEQRA, the Planning Board also finds that the consideration and approval of the Project at this time is appropriate and permissible for the following reasons:

a. the Project has independent function and utility, separate and apart from any possible overall redevelopment of New York International Plaza in that it is a separate office building that could function as a stand-alone development;

b. approval of the Project does not commit the Planning Board to any particular actions or future approvals with respect to any additional redevelopment which may be proposed in the future in this area; and

c. review and approval of the Project at this time is no less protective of the environment than deferral to some unknown future date; and overall redevelopment plan which may be proposed for New York International Plaza will be subject to full review and consideration under SEQRA with impacts from the Project included in the analysis.

ROLL CALL

MR. ARGENIO	AYE
MR. KARNAVEZOS	AYE
MR. LANDER	AYE
MR. PETRO	AYE

MR. PETRO: We have fire approval on 6/25/2001 and once again, water system will be needed to conform with the

insurance. Mark, do you have any other outstanding comments?

MR. EDSALL: No. Only my suggestion is that you adopt with any approval motion that it be subject to the same approval conditions as the previous approval.

MR. PETRO: And I did skip over the public hearing cause I would assume that we would not have it, I should of done that motion before we adopted the SEQRA resolution.

MR. ARGENIO: We need a motion to waive that?

MR. PETRO: To waive it.

MR. ARGENIO: I'll make that motion.

MR. LANDER: Second it.

MR. PETRO: Motion has been made and seconded that the New Windsor Planning Board waive the public hearing for the First Columbia office building, New York International Plaza. Is there any further discussion? If not, roll call.

ROLL CALL

MR. ARGENIO	AYE
MR. KARNAVEZOS	AYE
MR. LANDER	AYE
MR. PETRO	AYE

MR. PETRO: Motion for final approval.

MR. LANDER: So moved.

MR. ARGENIO: Second it.

MR. PETRO: Motion has been made and seconded that the New Windsor Planning Board grant final approval to the First Columbia medical office building on New York International Plaza subject to.

MR. EDSALL: Same approval conditions as the prior

June 27, 2001

72

approval.

MR. PETRO: Is there any further discussion from any of the board members? If not, roll call.

ROLL CALL

MR. ARGENIO	AYE
MR. KARNAVEZOS	AYE
MR. LANDER	AYE
MR. PETRO	AYE



**McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS P.C.**

RICHARD D. McGOEY, P.E. (NY & PA)
WILLIAM J. HAUSER, P.E. (NY & NJ)
MARK J. EDSALL, P.E. (NY, NJ & PA)
JAMES M. FARR, P.E. (NY & PA)

□ **Main Office**
33 Airport Center Drive
Suite #202
New Windsor, New York 12553
(845) 567-3100
e-mail: mheny@att.net

□ **Regional Office**
507 Broad Street
Milford, Pennsylvania 18337
(570) 296-2765
e-mail: mhepa@ptd.net

**TOWN OF NEW WINDSOR
PLANNING BOARD
REVIEW COMMENTS**

PROJECT NAME: FIRST COLUMBIA – MEDICAL OFFICE BUILDING
PROJECT LOCATION: NEW YORK INTERNATIONAL PLAZA
AVENUE OF THE AMERICAS
SECTION 3 – BLOCK 1 – LOT 55
PROJECT NUMBER: 00-204
DATE: 27 JUNE 2001
DESCRIPTION: THE APPLICATION PROPOSES THE CONSTRUCTION OF TWO (2) 20,000 S.F. OFFICE BUILDINGS ON THE 3.8 ACRE SITE OFF NYS ROUTE 207. THE APPLICATION WAS PREVIOUSLY REVIEWED AT THE 13 DECEMBER 2000, 10 JANUARY 2001 AND 14 FEBRUARY 2001 PLANNING BOARD MEETINGS.

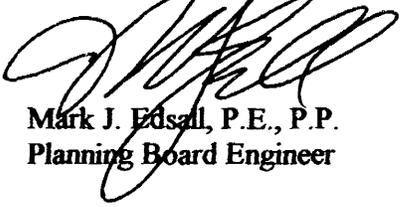
1. This project received conditional site plan approval on 14 February 2001 as two 20,000 s.f. medical office buildings. The applicant is before the board to seek a modification to that approval for a single 50,000 s.f. building on the site.

To my understanding, the only changes proposed are the revisions to the parking and associated improvements (drainage, lighting, landscaping, etc.) and additional drainage capacity to serve the adjoining LSI site. The Board should verify that no other changes are proposed.

2. I have reviewed the drawings relative to the changes noted above. I have no objection to the changes and believe the plan has been appropriately revised to suit the increased building size.
3. The Board previously reached a determination under SEQRA. The Board should discuss this proposed change to the approval with the Planning Board Attorney and adopt any resolution as needed to address the revisions.
4. The Board should verify, for the record, whether a Public Hearing is needed for this proposed change to the Site Plan.

5. If the Board considers approval of this change to the application and previous approval, I suggest the new approval be subject to the same conditional as imposed previously.

Respectfully Submitted,



Mark J. Edsall, P.E., P.P.
Planning Board Engineer

MJE/st
NW00-204-27Jun01.doc



McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS P.C.

RICHARD D. McGOEY, P.E.
WILLIAM J. HAUSER, P.E.
MARK J. EDSALL, P.E.
JAMES M. FARR, P.E.

- Main Office
45 Quassaick Ave. (Route 9W)
New Windsor, New York 12553
(914) 562-8640
- Branch Office
507 Broad Street
Milford, Pennsylvania 18337
(717) 296-2765

PLANNING BOARD WORK SESSION
RECORD OF APPEARANCE

TOWN/VILLAGE OF NEW WINDSOR P/B # _____

WORK SESSION DATE: 20 JUNE 01 APPLICANT RESUB.
REQUIRED: _____

REAPPEARANCE AT W/S REQUESTED: No new plans

PROJECT NAME: F/c Medical Bldg

PROJECT STATUS: NEW _____ OLD X

REPRESENTATIVE PRESENT: Chris

MUNIC REPS PRESENT:

BLDG INSP.	_____
FIRE INSP.	<u>X</u> _____
ENGINEER	<u>X</u> _____
PLANNER	_____
P/B CHMN.	_____
OTHER (Specify)	_____

ITEMS TO BE ADDRESSED ON RESUBMITTAL:

(one sign)

- revise fire outlet

- Put on agenda under old job #

no need to recirc plans to dept other than Bob R.

- CLOSING STATUS
- Set for agenda
 - _____ possible agenda item
 - _____ Discussion item for agenda
 - _____ ZBA referral on agenda

date per their request

6/27

7/25

pbwsform 10MJE98



FIRST COLUMBIA

February 14, 2002

Honorable James Petro, Jr.
Chairman, Town of New Windsor Planning Board
c/o Myra Mason, Planning Board Secretary
555 Union Ave.
New Windsor, NY 12253

Re: Medical Office Building
New York International Plaza

Dear Chairman Petro:

We expect to apply for a foundation permit, Tuesday, when Mike Babcock returns. Installation of the foundation will proceed shortly after receipt of the permit. Once the foundation is installed we will begin installation of the structure. In the meantime we will continue to pursue the highway work permit needed to resurface the intersection of Ave. of the Americas and Route 207.

First Columbia understands that the installation of the foundation is at our risk and that any changes in the road alignment will require future approval from the Town. As I explained, moving the road to the east (closer to the proposed MOB) will adversely effect the site distance looking west. Therefore, it is my feeling that potential impact to the building setback will not exist. In addition, First Columbia realizes that until the highway work permit is obtained all access to the site will be from the internal New York International Plaza Town Roads.

Kindly advise me if obtaining the foundation permit and subsequently the building permit is a problem. If you should have any questions, please do not hesitate to call me.

Sincerely,



Christopher J. Bette, P.E.
Project Manager

CJB/at

cc: Mark Edsall
Henry Kroll
File



FIRST COLUMBIA

February 14, 2002

Honorable James Petro, Jr.
Chairman, Town of New Windsor Planning Board
c/o Myra Mason, Planning Board Secretary
555 Union Ave.
New Windsor, NY 12253

Re: Ave. of the Americas/ Route 207 Intersection
New York International Plaza

Dear Chairman Petro:

As you know, since August, First Columbia has been pursuing a highway work permit from the NYSDOT to resurface the existing Town Road (Ave. of the Americas) within the NYSDOT R.O.W. To date, the State has not issued the permit, citing deficiencies in the operation of the intersection.

First Columbia has evaluated the intersection in accordance with the NYSDOT Policy and Standards for Entrances to State Highways and determined that a sight distance deficiency exists looking east for both passenger cars and trucks. However, minor grading within the R.O.W. looking east will allow passenger cars clear sight lines thus allowing the intersection to meet State standards. Truck sight lines require additional lengths which cause the sight lines to be well outside the R.O.W. (across NYIP property) and require extensive grading. First Columbia has proposed, in our highway work permit request, to perform the grading for passenger cars. Truck traffic would not be permitted to utilize the intersection. Realizing that the trucks should be prohibited from using the intersection we would request that the Town impose a vehicle and traffic restriction.

First Columbia requests that a restriction be adopted, by the Town, prohibiting trucks from accessing Route 207 from Ave. of the Americas. Please note that during our evaluation of the intersection, we reviewed the possibility of changing the location of the entrance at Route 207 and determined that the existing location provides the greatest sight distance in both directions.

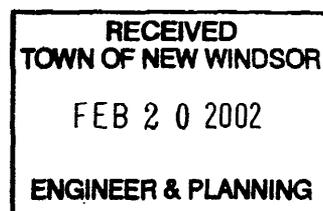
Thank you in advance for your assistance with this matter.

Sincerely,

Christopher J. Bette, P.E.
Project Manager

CJB/at

cc: Mark Edsall
Phil Crotty
Henry Kroll
File



**TOWN OF NEW WINDSOR
PLANNING BOARD**

**APPLICATION OF
FIRST COLUMBIA, LLC**

**MEDICAL OFFICE BUILDING
NEW YORK INTERNATIONAL PLAZA
NEW WINDSOR, NEW YORK**

SEQRA RESOLUTION AND FINDINGS

FEBRUARY 14, 2001

**TOWN OF NEW WINDSOR
PLANNING BOARD**

**APPLICATION OF
FIRST COLUMBIA, LLC**

SEQRA RESOLUTION

FEBRUARY 14, 2001

WHEREAS, First Columbia, LLC (the "Applicant") has submitted an application for site plan approval (the "Application") for a 40,000 square foot medical office building (the "Project") to be located on 3.8 acres of land located at the northeast corner of the Avenue of the Americas/Route 207 intersection (the "Site"); and

WHEREAS, the Town of New Windsor Planning Board (the "Planning Board") has duly considered the Application, the Full Environmental Assessment Form ("EAF") and supporting documentation, the proposed Site Plan, the history of the Site and its environs;

NOW, THEREFORE, be it resolved that:

1. The Planning Board, acting as lead agency under Article 8 of the Environmental Conservation Law and its implementing regulations at 6 NYCRR Part 617 (collectively, the "State Environmental Quality Review Act", or "SEQRA"), has considered the Project as an "action" under SEQRA, and identified the relevant areas of environmental concern.
2. The Project constitutes an Unlisted Action under SEQRA.
3. The annexed Findings Statement is hereby adopted and incorporated herein by reference.
4. Based on the matters set forth in the Application, the EAF, the Site Plan, the Findings Statement and the record, the Project will not have a significant adverse effect on the environment.

**TOWN OF NEW WINDSOR
PLANNING BOARD**

**APPLICATION OF
FIRST COLUMBIA, LLC**

**SEQRA FINDINGS
STATEMENT**

FEBRUARY 14, 2001

The Town of New Windsor Planning Board (the "Planning Board"), acting pursuant to Article 8 of the Environmental Conservation Law and 6 NYCRR Part 617, hereby finds and determines that:

A. THE PROJECT

1. First Columbia, LLC (the "Applicant") has submitted an application for site plan approval (the "Application") for a 40,000 square foot medical office building (the "Project") to be located on 3.8 acres of land at the northeast corner of the Route 207/Avenue of the Americas intersection (the "Site").
2. Access to the Project will be provided from an existing access to NYS Route 207 to be improved as proposed in connection with the project.
3. The Site is zoned Airport-1 (AP-1) and the use is consistent with adjacent uses.
4. The Site is part of the New York International Plaza development, a 260± acre previously developed area formerly occupied by United States Military.

B. UTILITIES

1. The Site lies within the Town of New Windsor water and sewer districts, and services can be extended from the former Wherry Housing area. Sufficient capacity exists for the projected 1600 gpd flows.
2. Electric and natural gas are available to the Site.
3. Stormwater will be collected and conveyed via on-site improvements for discharge to adjoining vacant properties of the Plaza.

C. TRAFFIC, ACCESS AND PARKING

1. With the proposed widening and resurfacing improvements, the Project access from the former Underhill Road is adequate with respect to width, grade, alignment and visibility to service the projected 130 peak hour vehicle trips.
2. The 255 parking spaces are consistent with Town zoning requirements and the proposed parking layout provides appropriate on-site circulation, as well as safe and convenient access to the Project.
3. A NYSDOT highway work permit is required for access to NYS Route 207.

4. An adequate landscaped buffer will be constructed by the Applicant to screen the parking area from Route 207 and nearby properties.

D. PROCEDURAL ISSUES

1. The Project is within the New York International Plaza redevelopment area. There is no present overall proposed redevelopment plan on record for the Plaza. However, the Planning Board acknowledges that the Applicant hopes to formulate and propose a overall redevelopment plan in the future as redevelopment options become more defined and certain.
2. The Planning Board finds that, in the absence of a current, concrete redevelopment plan, the approval of the Project does not represent the "segmenting" of the Project from future development in the area.
3. In the event the approval of the Project could be considered "segmentation" as that term is used in SEQRA, the Planning Board also finds that the consideration and approval of the Project at this time is appropriate for the following reasons:
 - a. the Project has independent function and utility, separate and apart from any possible overall redevelopment of New York International Plaza in that it is a separate office building that could function as a stand-alone development;
 - b. approval of the Project does not commit the Planning Board to any particular actions or future approvals with respect to any additional redevelopment which may be proposed in the future in this area; and
 - c. review and approval of the Project at this time is no less protective of the environment than deferral to some unknown future date; any overall redevelopment plan which may be proposed for New York International Plaza will be subject to full review and consideration under SEQRA, with impacts from the Project included in the analysis.

**TOWN OF NEW WINDSOR
PLANNING BOARD**

**APPLICATION OF
FIRST COLUMBIA, LLC**

**MEDICAL OFFICE BUILDING
NEW YORK INTERNATIONAL PLAZA
NEW WINDSOR, NEW YORK**

AMENDED SEQRA RESOLUTION AND FINDINGS

FEBRUARY 14, 2001

JUNE 27, 2001 AMENDED

**TOWN OF NEW WINDSOR
PLANNING BOARD**

**APPLICATION OF
FIRST COLUMBIA, LLC**

SEQRA RESOLUTION

**FEBRUARY 14, 2001
AMENDED JUNE 21, 2001**

WHEREAS, First Columbia, LLC (the "Applicant") has submitted an application for site plan approval (the "Application") for a 40,000 square foot medical office building (the "Project") to be located on 3.8 acres of land located at the northeast corner of the Avenue of the Americas/Route 207 intersection (the "Site"); and

WHEREAS, the Applicant has requested an amendment of the Site Plan approval granted on February 14, 2001, in connection with the Project to increase the size of the medical office building by 10,000 square feet and provide the necessary additional parking facilities; and

WHEREAS, the Town of New Windsor Planning Board (the "Planning Board") has duly considered the Application, the Full Environmental Assessment Form ("EAF") and supporting documentation, the original Site Plan and the proposed revised Site Plans, the history of the Site and its environs;

NOW, THEREFORE, be it resolved that:

1. The Planning Board, acting as lead agency under Article 8 of the Environmental Conservation Law and its implementing regulations at 6 NYCRR Part 617 (collectively, the "State Environmental Quality Review Act", or "SEQRA") , has considered the Project as an "action" under SEQRA, and identified the relevant areas of environmental concern. The requirements of SEQRA have been met.
2. The Project, and the Project, as amended, constitute an Unlisted Action under SEQRA.
3. The annexed Findings Statement is hereby adopted and incorporated herein by reference.
4. Based on the matters set forth in the Application, the EAF, the Site Plan and revised Site Plans, the Findings Statement and the record, the Project will not have a significant adverse effect on the environment.

**TOWN OF NEW WINDSOR
PLANNING BOARD**

**APPLICATION OF
FIRST COLUMBIA, LLC**

**SEQRA FINDINGS
STATEMENT**

**FEBRUARY 14, 2001
AMENDED JUNE 27, 2001**

The Town of New Windsor Planning Board (the "Planning Board"), acting pursuant to Article 8 of the Environmental Conservation Law and 6 NYCRR Part 617, hereby finds and determines that:

A. THE PROJECT

1. First Columbia, LLC (the "Applicant") has submitted an application for site plan approval (the "Application") for a 40,000 square foot medical office building (the "Project") to be located on 3.8 acres of land at the northeast corner of the Route 207/Avenue of the Americas intersection (the "Site").
2. As more fully detailed on the revised Site Plans, the Applicant seeks to provide an additional 10,000 square feet of office space together with additional parking in connection with the Project.
2. Access to the Project, as amended, will continue to be provided from an existing access to NYS Route 207 to be improved as proposed in connection with the project.
3. The Site is zoned Airport-1 (AP-1) and the use is consistent with adjacent uses.
4. The Site is part of the New York International Plaza development, a 260± acre previously developed area formerly occupied by United States Military.

B. UTILITIES

1. The Site lies within the Town of New Windsor water and sewer districts, and services can be extended from the former Wherry Housing area. Sufficient capacity exists for the projected 1600 gpd flows for the Project, and the *de minimus* additional requirements for the Project, as revised.
2. Electric and natural gas are available to the Site.
3. Stormwater will be collected and conveyed via on-site improvements for discharge to adjoining vacant properties of the Plaza. The addition of impervious area created is *de minimus* in nature and will not create a significant adverse environmental impact.

C. TRAFFIC, ACCESS AND PARKING

1. With the proposed widening and resurfacing improvements, the Project access from the former Underhill Road is adequate with respect to width, grade, alignment and visibility to service the projected 130 peak hour vehicle trips.
2. The addition of 31 new parking spaces proposed in addition to the 255 parking spaces originally approved complies with Town zoning requirements and the proposed parking layout provides appropriate on-site circulation, as well as safe and convenient access to the Project.
3. A NYSDOT highway work permit continues to a requirement for access to NYS Route 207.
4. An adequate landscaped buffer will be constructed by the Applicant to screen the parking area from Route 207 and nearby properties.

D. PROCEDURAL ISSUES

1. The Project is within the New York International Plaza redevelopment area. There is no present overall proposed redevelopment plan on record for the Plaza. However, the Planning Board acknowledges that the Applicant hopes, and has evidenced its intent, to formulate and propose an overall redevelopment plan in the future as redevelopment options become more defined and certain.
2. The Planning Board finds that, in the absence of a current, concrete

redevelopment plan, the approval of the Project does not represent the "segmenting" of the Project from future development in the area.

3. In the event the approval of the Project could be considered "segmentation" as that term is used in SEQRA, the Planning Board also finds that the consideration and approval of the Project at this time is appropriate and permissible for the following reasons:
 - a. the Project has independent function and utility, separate and apart from any possible overall redevelopment of New York International Plaza in that it is a separate office building that could function as a stand-alone development;
 - b. approval of the Project does not commit the Planning Board to any particular actions or future approvals with respect to any additional redevelopment which may be proposed in the future in this area; and
 - c. review and approval of the Project at this time is no less protective of the environment than deferral to some unknown future date; any overall redevelopment plan which may be proposed for New York International Plaza will be subject to full review and consideration under SEQRA, with impacts from the Project included in the analysis.

PUBLIC HEARING:

FIRST COLUMBIA - MEDICAL OFFICES (00-204)

Mr. Chris Bette appeared before the board for this proposal.

MR. PETRO: Proposes construction of two 20,000 square foot office buildings on the 3 point acre site off New York State Route 207. Application was previously reviewed at the 13 December, 2000 and 10 January, 2001 planning board meetings. Again, this is a public hearing. If anyone is here to speak on behalf of this application, the board is going to review it first then we'll open it up to the public. Okay, Chris.

MR. BETTE: Okay, again, my name is Chris Bette, I'm with First Columbia. We're proposing to develop a 40,000 square foot medical office building at the intersection of Avenue of the Americas and New York State Route 207. The development provides on-site storm water management, we have tied it to the Town sanitary sewer system, Town water system, access would be from the existing curb cut at Route 207 into our property. I guess at this time, if the board has any further questions, we have talked about this at two previous meetings, I think we have addressed the engineer's comments from those meetings and the Planning Board's comments.

MR. LANDER: Chris, on the previous meeting, we had brought up the drainage on this piece?

MR. BETTE: Correct.

MR. LANDER: We're using catch basins, we're going to bring this over to an existing swale on the east side of this parcel?

MR. BETTE: Correct, we're using a seepage pit catch basin design, we've got five structures located in the parking lot that will act as detention, the outfall is on the eastern side of the property into lands controlled by us as well.

MR. LANDER: Is this water going to cross Route 207 by means of a culvert or heading in the other direction?

MR. BETTE: No, it stays on our side of the 207, it stays outside of the right-of-way for 207 as well it's entirely contained on our property.

(Whereupon, Mr. Krieger entered the room.)

MR. PETRO: All right, this is a public hearing, so what we'll do is open it up to the public. On January 30, 2001, 10 addressed envelopes containing the attached notice of public hearing were mailed out. So at this time, if anybody would like to speak on behalf of this application, please be recognized by the Chair, come forward, state your name. Yes, ma'am?

MS. KISSAM: Good evening, Mr. Petro. Your name is Chris Beatte? I can't see the map.

MR. PETRO: We need your name.

MS. KISSAM: My name is Sandra Kissam, K-I-S-S-A-M, 1261 Union Avenue, Town of Newburgh. I don't understand, I'd like to ask for an explanation and I also want to say something, you said at the corner of 207 and Avenue of the Americas, but 207 doesn't intersect with Avenue of the Americas, where is this Avenue of Americas?

MR. BETTE: Avenue of the Americas is the former Underhill Avenue which is adjacent to--

MS. KISSAM: Is that east or west of Jackson Avenue?

MR. BETTE: That's east, that's the access point east of Jackson.

MS. KISSAM: Former Underhill?

MR. BETTE: Former Underhill Avenue.

MS. KISSAM: I have a comment for the record, Mr. Petro. I have here a letter from Kevin Bette, I assume is a relative of yours?

MR. BETTE: Brother.

MS. KISSAM: This letter was sent to me on September 26, 2000 along with this picture of the development plan for I assume the development plan for the former Stewart Army Subpost. The letter states Sandra, as you requested, you will find enclosed with this letter a copy of the master plan of the New York international Plaza. The environmental impact study is not yet completed. Please call me if I can be of any further assistance. Cathy Bach (phonetic), who works with your company?

MR. BETTE: Right.

MS. KISSAM: Now, I called New Windsor Town Hall months ago about whether or not there has been, I mean this is a big project, I see in the major local publications, this looks like a whole city here, when and how can, let me ask you a question, how can you approve a 40,000 square foot office building when you haven't even yet received an environmental impact study for this project? I mean, otherwise, what you're doing is your moving the cart ahead of the horse, I mean, could you answer me, Mr. Petro?

MR. EDSALL: Mark, I want to refer to you. Go ahead so we know what we're doing with that.

MR. EDSALL: I think what we're being asked is if we have a plan on record demonstrating an overall development, how are we looking at a piece of overall development if we haven't received the SEQRA document for the total plan.

MS. KISSAM: Exactly.

MR. EDSALL: Unfortunately, apparently, Mrs. Kissam has something we don't have because the planning board has never had submitted any development plan or redevelopment plan for the total parcel and we also don't have any SEQRA documents for the overall parcel development, at this point, they have come in with a small piece that has access directly off 207 and that

is what this application involves. So I don't know that the board is in a position to provide an answer or make a review of something they don't have.

MS. KISSAM: That's not exactly what my question is.

MR. EDSALL: But nonetheless, it's an answer.

MS. KISSAM: I will repeat my question. My question is this, how can you tonight give final approval for 40,000 square foot office building if you have not received and have not in hand an overall environmental impact study of, certainly, this letter shows that it is to be done, it says the environmental impact study, this letter is dated September 26, 2000, it says here the environmental impact study is not yet completed. Doesn't say we won't do one. So how can you go ahead and approve this project without that EIS, whether it's generic, specific, whatever, are there any environmental documents whatsoever that are accompanying these plans tonight?

MR. BETTE: Mrs. Kissam, we have submitted a, in the, prior to the first meeting, a long form environmental assessment at that point in time, we identified the potential environmental impacts, we had determined at that point that there were no significant impacts, now you're referring to the master plan document.

MS. KISSAM: You have an EA on this?

MR. BETTE: Yes, we do, and I'd like to comment on that master plan that you're referring to. We generated a conceptual master plan at a point in time to try to gauge what could be built out here. Now, that plan has juggled quite a bit since what you've got, what's shown on your plan. We have not been able to fine tune that to a point where we can adequately identify the construction on this project and the uses in this project and that's why we have not submitted anything to the Town Board or the Planning Board.

MS. KISSAM: Well, I would like to submit that an environmental assessment is a piece meal approach to what you're trying to create. I mean, your company is

advertising an international plaza for heaven's sake, how can you fit the puzzle pieces together in a cohesive manner if no one knows what the whole picture is? I don't know whether what you're doing is legal or not, but it certainly is questionable from a point of view of planning. Now, you have some sort of a drainage plan, some sort of a hookup plan, but this isn't going to be the end of your project, this is only the beginning, I submit, and I hope you're taking this down, I submit to the Town Planning Board that what you're doing is pushing forward a project, the ultimate impacts of which you cannot know because you don't know what else they're going to come in with. Furthermore, when are they going to come in with it, how many buildings are going to go up before you come in with your overall plan? I object to the progressing of this project absent some sort of a generic or specific EIS. I'm not an attorney but it looks to me like that's what you need. Thank you.

MR. PETRO: Anybody else want to speak on this application? Okay, let the minutes reflect there's no one else to speak. Entertain a motion to close the public hearing.

MR. LANDER: So moved.

MR. ARGENIO: Second it.

MR. PETRO: Motion has been made and seconded that the New Windsor Planning Board close the public hearing for the First Columbia site plan. Is there any further discussion from the board members? If not, roll call.

ROLL CALL

MR. ARGENIO	AYE
MR. KARNAVEZOS	AYE
MR. LANDER	AYE
MR. PETRO	AYE

MR. PETRO: I'd like to open it back up to the board members for further comment. Mark, do you have anything to add to what Sandra has said?

MR. EDSALL: No, just so that the information is on the table and I just want Mrs. Kissam to know the other things that happened, there was a full EAF submitted and that EAF in recognition of the fact that the DOT would have to issue a permit to upgrade the existing drive onto 207 was issued a letter effectively a lead agency coordination letter since they did it would be issuing a permit and the DOT respond back that they had no objection to New Windsor Planning Board taking the position of lead agency, acknowledged the need for a permit, but noted no objections to the project as part of their response.

MS. KISSAM: Sir, may I ask you a question? Did you say EAF or EIS?

MR. EDSALL: EAF.

MS. KISSAM: That's still an environmental assessment for this specific building?

MR. EDSALL: Yes.

MS. KISSAM: That doesn't contradict what I said.

MR. EDSALL: I'm just letting you know that it went out.

MS. KISSAM: Well an EAF, fine, but we're looking at an enormous project that has been highly publicized.

MR. PETRO: Mark, would the copy that you gave me earlier that the members have, would that help her in any way?

MR. EDSALL: Well, only, there's been a resolution posed should the board move forward on SEQRA, and the last Section D of that proposed resolution deals with the relationship between this project and the issue of the overall plaza redevelopment.

MR. PETRO: Do you have an extra copy there?

MR. EDSALL: I might just have another one.

MR. PETRO: Take mine.

MS. KISSAM: Thank you.

MR. PETRO: Again, this pertains to the application tonight, not what you're talking about a hundred percent, but this is what we're doing with this particular building.

MR. KRIEGER: And just for you information, that hasn't been enacted or acted upon by the Planning Board, that is a proposal by the applicant, nothing more than a proposal.

MS. KISSAM: And this is your hearing, well, it's bad planning.

MR. KRIEGER: I'm not the Planning Board, they are.

MS. KISSAM: It's bad planning, that's all I can say at the very least. Thank you for this document.

MR. PETRO: Okay. We're moving ahead though with the entire overall plan, is that correct?

MR. BETTE: We're trying to identify the specific uses and the specific locations for the continued development of this project, correct. We have proposed this building here purely from a standpoint that it does not impact the total development of the New York International Plaza, we're suggesting that the sanitary use, the water use, the traffic, everything is contained to this portion of the site where the majority of the construction if you're familiar with the entire property is to the north and access being an issue is all through, there's limited access through this road currently, we feel that this project if nothing else happened out at New York International Plaza, it would not jeopardize this thing being a viable proposal.

MR. PETRO: I don't disagree with that, I'm not a hundred percent sure that she does either, but eventually, we need to have the full EIS.

MR. EDSALL: Yes.

MR. PETRO: My question is is that moving forward for the entire plan, in other words, we can make a move forward with this, this is not the beginning or the end of the world this particular project, plus it's a great, it's medical office, it's a good thing I think for New Windsor, but at some point, we have to say that now, let's get the entire EIS done for the entire site, it's a big project, is this it for now, is this what we're doing, I don't want to put anybody on the spot but we need to know where we're at.

MR. BETTE: We are, through our marketing, Miss Kissam's referring to trying to identify the uses to go towards that goal for the whole overall plan and the master or the overall redevelopment of this land with an environmental study so yes, we're going in the direction and that's something that we're trying to put together short term.

MR. PETRO: All right, let me say this again, I'm one member here, you know, we have, this is a major project, but again I don't see this as a major stumbling block or something that should upset the whole development of your property out there, but after this one, I really think we need to move forward. I know we have discussed it to have something in place and does anybody disagree with that, Mark, you want to add to that?

MR. EDSALL: I couldn't agree with you more.

MR. PETRO: This is pretty well reviewed, Mark's done a wonderful job, we have with this SEQRA resolution and his findings for this particular application, I guess I make myself pretty clear what I'm saying.

MR. BETTE: I understand, we'll move forward.

MR. PETRO: We have to stop, get it done properly, I'd hate to get this particular tenant there, I think it's great, it's a great project for these two buildings but we can't go another 40,000 another 60 another 80,000, it's got to, and I'm not saying this because you're

sitting there or anybody else, we have been talking about it and it's just time to get it done.

MR. EDSALL: Just for the record, the resolution that the board has prepared and in draft form by the applicant and I had some objection to some portions of it so it's been edited but the base document was a proposal from the applicant so it's been revised based on the comments.

MR. KRIEGER: Just so the board knows, I saw it for the first time this afternoon, the proposal, it's neither been edited according to any comments that I made nor have I reviewed it previous to a few hours ago.

MR. PETRO: Mark, you have reviewed it enough to tell me that it certainly covers the application.

MR. EDSALL: I believe it reflects what the Planning Board would desire for their position.

MR. PETRO: To declare a negative dec, correct.

MR. EDSALL: Yes and I believe the record is clear that the Planning Board has in effect drawn a line and indicated that you really need to move toward an overall environmental review and I think that's good to have recognized in the minutes at this point.

MR. PETRO: I think I kind of said that about three or four minutes ago, pretty direct.

MR. EDSALL: It's good to have that in this record along with your determination.

MR. PETRO: Motion for negative dec?

MR. LANDER: So moved.

MR. ARGENIO: Second it.

MR. PETRO: Motion has been made and seconded that the New Windsor Planning Board declare negative dec under the SEQRA process for First Columbia for the two, 20,000 square foot buildings on 207 on Underhill Road

or Avenue of the Americas and we have the SEQRA resolution and its findings will be on file with this application. Is there any further discussion? If not, roll call.

ROLL CALL

MR. ARGENIO AYE
MR. KARNAVEZOS AYE
MR. LANDER AYE
MR. PETRO AYE

MR. PETRO: We have fire approval on 1/8/01. Is this the newest on the highway?

MS. MASON: That's what I have last.

MR. PETRO: Our latest, Chris, on highway is road conditions not in compliance with Town specifications, I'm sure he's talking about the Underhill Road portion of it, so--

MR. BETTE: We're proposing that as shown right here, Mr. Chairman, as a driveway we propose to upgrade that to standards for a driveway.

MR. PETRO: Still have to get something to or from the highway superintendent so they have an approval for that local Town road. I don't have that yet. I can make it a condition of approval but until it's in the file, we're not going to be able to stamp a plan.

MR. BETTE: Okay.

MR. EDSALL: Just so you know, Henry came to the workshop and the requirements that Henry outlined and worked out with me at the workshop they have included but it would be good to make it a condition but they have responded.

MR. BABCOCK: Highway superintendent has apparently not responded back in time.

MR. PETRO: Until we have it in the file, I'm sure that you can work it out, otherwise, we wouldn't be here.

Any other actual site plan comments or not? You want to go over, we have reviewed it, I think three times, let's take one more look at it, see if you feel satisfied with the actual application. Mark, you don't have any outstanding comments right, I saw it looked pretty good?

MR. EDSALL: No, it's in good shape, just the conditions under six adding the highway as you have suggested.

MR. ARGENIO: Mark, there's no drainage plan included here. I know at the several meetings ago there were some comments made on the drainage and I know that the applicant took them into consideration, he made some changes in the drainage plan.

MR. EDSALL: I have a plan that shows the upgraded, I think it's a grading plan that includes drainage.

MR. BETTE: It's shown on the grading plan.

MR. ARGENIO: I see.

MR. EDSALL: So they've worked it out.

MR. ARGENIO: I was going to ask if there's any changes since then.

MR. EDSALL: The drops in the curb have been eliminated now, it's got seepage pits and an overflow outlet.

MR. PETRO: Motion for final approval.

MR. ARGENIO: So moved.

MR. LANDER: Second it.

MR. PETRO: Motion has been made and seconded that the New Windsor Planning Board grant final approval to the First Columbia site plan on Avenue of the Americas and Route 207, subject to response from the highway superintendent and approval and the applicant coordinate 911 addresses with the fire inspector, all approval fees be paid, the application of a site bond

of Chapter 19 of the code and requirement that the applicant obtain highway permit from New York State DOT. Anybody have any additions or corrections? Any further comments? If not, roll call.

ROLL CALL

MR. ARGENIO	AYE
MR. KARNAVEZOS	AYE
MR. LANDER	AYE
MR. PETRO	AYE

MR. PETRO: That's it on this one, Chris, but, you know, as a reminder, remember we have an understanding right what we're saying?

MR. BETTE: No, I understand what you're saying, we're working towards that goal and we'll get there sooner than later.

MR. PETRO: Thank you.



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**TOWN OF NEW WINDSOR
PLANNING BOARD
REVIEW COMMENTS**

PROJECT NAME: FIRST COLUMBIA – MEDICAL OFFICE BUILDING
PROJECT LOCATION: NEW YORK INTERNATIONAL PLAZA
AVENUE OF THE AMERICAS
SECTION 3 – BLOCK 1 – LOT 55
PROJECT NUMBER: 00-204
DATE: 14 FEBRUARY 2001
DESCRIPTION: THE APPLICATION PROPOSES THE
CONSTRUCTION OF TWO (2) 20,000 S.F. OFFICE
BUILDINGS ON THE 3.8 ACRE SITE OFF NYS ROUTE
207. THE APPLICATION WAS PREVIOUSLY
REVIEWED AT THE 13 DECEMBER 2000 AND
10 JANUARY 2001 PLANNING BOARD MEETINGS.

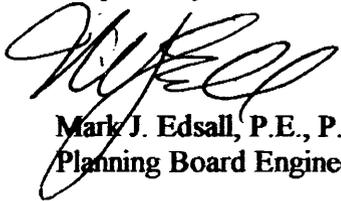
1. The project is located in the AP-1 Zoning District of the Town. The proposed medical office use is permitted use A-4 for the zone. The “required” bulk information on the plan is correct for the zone and use group.

The lot does appear to comply with the minimum bulk requirements. The bulk table was previously expanded to indicate proposed bulk values. The table still needs correction to indicate two front yard values, a rear yard value and a street frontage value.

2. I have reviewed the latest plans submitted and have the following comments:
 - a. The plan sheet SP-1 now references the source of the survey data for the parcel. The application does not include a proposed subdivision; the “lines” around the site plan are lease lines, shown for information only. If the applicant desires a separate lot for this property at some time in the future, a subdivision application would be required.
 - b. The plan has adequately addressed the on-site stormwater, as well as curbing and paving for the site, and the access drive to Rt. 207.

- c. I believe the water and sewer facilities for the site are consistent with the requirements noted by the respective departments, and as discussed at the work session.
3. The Planning Board has received a response from the NYSDOT regarding Lead Agency. The Planning Board can discuss a classification for the project and consider a negative declaration under SEQRA.
4. On 23 January 2001 I forwarded a copy of the site plan to the Newburgh DOT Permit office. I have not heard from the DOT representatives as of this writing.
5. The Board should verify that a determination has been made regarding the need for a Public Hearing for this Site Plan application.
6. If the Board considers a conditional approval for the application, conditions should include:
 - a. Requirement that the applicant obtain the required Highway Permit from NYSDOT.
 - b. That the applicant submit a Site bond estimate for key site improvements per Chapter 19 of the Code.
 - c. That all approval fees be paid.
 - d. That the applicant coordinate the 911 address with the Town Fire Inspector.

Respectfully Submitted,



Mark J. Edsall, P.E., P.P.
Planning Board Engineer

MJE/st
NW00-204-14Feb01.doc

RESULTS OF P.B. MEETING OF: February 14, 2001

PROJECT: First Columbia Medical Office P.B.# 00-204

LEAD AGENCY:

NEGATIVE DEC:

1. AUTHORIZE COORD LETTER: Y ___ N ___
2. TAKE LEAD AGENCY: Y ___ N ___

M) L S) A VOTE: A 4 N 0
CARRIED: YES ✓ NO ___

M) ___ S) ___ VOTE: A ___ N ___
CARRIED: YES ___ NO ___

Close

~~WAVE PUBLIC HEARING:~~

M) L S) A VOTE: A 4 N 0

Closed

~~WAVED:~~ Y ✓ N ___

SCHEDULE P.H. Y ___ N ___

SEND TO O.C. PLANNING: Y ___

SEND TO DEPT. OF TRANSPORTATION: Y ___

REFER TO Z.B.A.: M) ___ S) ___ VOTE: A ___ N ___

RETURN TO WORK SHOP: YES ___ NO ___

APPROVAL:

M) ___ S) ___ VOTE: A ___ N ___ APPROVED: _____

M) A S) L VOTE: A 4 N 0 APPROVED CONDITIONALLY: 2-14-01

NEED NEW PLANS: Y ___ N ___

DISCUSSION/APPROVAL CONDITIONS:

<i>Sandra Kissam spoke regarding the approvals going forward without having an EIS in place.</i>
<i>Chairman advised Chris Bette of First Columbia that the EIS must be submitted for exterior property at Stewart.</i>
<i>SFQRA resolution is on file -</i>
<i>* get review from Krull for roads</i>

Need 911's with Fire Insp.

*Bond
D.O.T. Work Permit*

FIRST COLUMBIA - MEDICAL OFFICES (00-204) AVENUE OF THE AMERICAS

Mr. Chris Bette appeared before the board for this proposal.

MR. PETRO: This is for a 40,000 square foot medical office building. I believe we reviewed this at the last meeting, yes, we have.

MR. BETTE: We're, I think we're here today to simply--

MR. PETRO: This is reviewed at the December 13 meeting also construction of 22,000 square foot office building on 3.8 acre site off Route 207. All right, Chris.

MR. BETTE: I think today's meeting is purely to set the public hearing for the next meeting and to address some of the comments made at the last planning board meeting and Mark's comments from the last review and I received Mark's comments today and it looks like we did a poor job in addressing those comments. So I guess I'd like to ask Mark that we can get together at a workshop and address the storm water issue. Couple things I want to point out that Avenue of the Americas is a dedicated Town road, Route 207 obviously is a state road, we have the question on the side yard and rear yard because we have two front yards we addressed these as two side yards.

MR. BABCOCK: You have to have one rear.

MR. EDSALL: The one that's behind the side, that front on the higher classification road that becomes your rear, then the other one is side, which is a normal misunderstanding so that's not a big deal, you meet the code either way.

MR. BETTE: We have our setbacks from side yard and rear yard. The question on signage we have shown signage in the drawings that you have and we're planning a development sign out here at the intersection of the Avenue of the Americas and Route 207 with a building identification sign at the entrance to the medical building.

MR. LANDER: Chris, you're going to have bumper blocks in these parking lots where they face the concrete sidewalk?

MR. BETTE: This is a, relates back to one of Mark's comments on the storm drainage. When we were here last month, we had a series of dry wells throughout the parking lot, one of the comments was that the soils in this area aren't conducive to dry wells, so we have eliminated the dry wells and are going to a sheet drain off the parking area. We've got curbs around the parking lot with breaks in the curbs to allow the water to run through into a grass swale. Now this is one of the issues that we need to discuss further with Mark, our feeling was that the same complexities with not knowing what's going to happen here, not knowing what was going to happen here, we felt that sheet draining and running it through the grass swales is the best solution, that satisfies our water quality issues, it satisfies our first blush issues, we can use all this property surrounding it as our retention area so we don't really have any storm water management issues. I will have to further discuss that with Mark, but that was our interpretation our intention and to answer your question, Ron, that we would be curbed with some breaks in the curb now we're showing some large breaks, I think those would have to be closed up.

MR. LANDER: Your sidewalks that enclose this building here, they're five foot wide, if handicapped, what the question was, are you going to have parking bumpers keeping the cars away from the sidewalk or is your curb going to serve as your parking bumper because if that is the case then your sidewalk isn't wide enough because you need room for a handicapped person to get passed with five feet, you're only leaving 2 1/2 foot.

MR. BETTE: We use the parking bumpers typically, for our handicapped spaces, we drop the sidewalk down as opposed to creating individual ramps, so you're not, when you're walking, you're not doing that. Our sidewalk will be at the parking lot elevation, there won't be a curb reveal and to prohibit the cars from parking across the sidewalk, we do use the concrete

bumpers.

MR. LANDER: Or just extend your concrete sidewalk one more foot, then you could make that up. Parking bumpers are--

MR. BETTE: They're a plowing nightmare.

MR. LANDER: Maybe extend the sidewalk, I see you have enough room, you have 30 foot fire lane, that's why the lane by the building is 30 feet wide, I assume, but give that some thought.

MR. ARGENIO: Mark, I have one question, I think I addressed this at the last meeting when this was reviewed, question I have is the pond on the airport that releases the storm water from the Apcoa parking lot on the airport property, I believe the pipes, they're configured for a time release of the water? I'm not sure.

MR. EDSALL: This is on the west side of Bruhning (phonetic) Road?

MR. ARGENIO: That's correct.

MR. EDSALL: My understanding it's designed for a single time discharge as it retains nothing unless you have a thousand year storm because apparently, the pipe sizes are so big that there's been, other than when they are obstructed, it's never held any water so one of the items that Chris and I have been talking about as part of the master plan for drainage for the entire Stewart property that First Columbia's working on is to straighten out the basin.

MR. ARGENIO: I think that that's an excellent idea.

MR. EDSALL: Apparently, it doesn't hold much, so I don't know if it's not a staged outlet for sure it was supposed to be, if it was designed to what the Town standards are but--

MR. ARGENIO: That answers that question.

MR. PETRO: We have municipal highway disapproved, road conditions not in compliance with Town specifications so you have to get with Mr. Kroll and find out what he's talking about. I think really we can't go too far, you're going to have to get some of the comments taken care of.

MR. BETTE: We fully expect that, we anticipated to be back at the last meeting of the month for our 30 day, for our SEQRA determination and schedule public hearing.

MR. PETRO: We can schedule a public hearing, can't we?

MR. EDSALL: Yeah, I would just make sure that we, as was suggested we get together at the workshop, straighten out the issues.

MR. PETRO: You have to to have the plan ready.

MR. BETTE: I'd like to schedule it.

MR. PETRO: We can't give you the date but vote to have it, take that in the form of a motion.

MR. LANDER: So moved.

MR. ARGENIO: Second it.

MR. PETRO: Motion has been made and seconded that the Town of New Windsor Planning Board have a public hearing for the First Columbia medical offices. Is there any further discussion? If not, roll call.

ROLL CALL

MR. ARGENIO	AYE
MR. BRESNAN	AYE
MR. KARNAVEZOS	AYE
MR. LANDER	AYE
MR. PETRO	AYE

MR. PETRO: I think that's as far as we can go tonight, unless you have something else.

MR. BETTE: No, that's fine.

MR. PETRO: Once you're ready, contact Myra and get right on for public hearing. Are you going to build this next year?

MR. BETTE: That's the plan.

MR. PETRO: Like April or March, as soon as the weather breaks is what you're looking for?

MR. BETTE: Correct.



**McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS P.C.**

RICHARD D. McGOEY, P.E.
WILLIAM J. HAUSER, P.E.
MARK J. EDSALL, P.E.
JAMES M. FARR, P.E.

Licensed in NEW YORK, NEW JERSEY
and PENNSYLVANIA

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□ **Regional Office**
507 Broad Street
Milford, Pennsylvania 18337
(570) 296-2765
e-mail: mhempa@ptd.net

**TOWN OF NEW WINDSOR
PLANNING BOARD
REVIEW COMMENTS**

PROJECT NAME: FIRST COLUMBIA – MEDICAL OFFICE BUILDING
PROJECT LOCATION: NEW YORK INTERNATIONAL PLAZA
 AVENUE OF THE AMERICAS
 SECTION 3 – BLOCK 1 – LOT 55
PROJECT NUMBER: 00-204
DATE: 10 JANUARY 2001
DESCRIPTION: THE APPLICATION PROPOSES THE
 CONSTRUCTION OF TWO (2) 20,000 S.F. OFFICE
 BUILDINGS ON THE 3.8 ACRE SITE OFF NYS ROUTE
 207. THE APPLICATION WAS PREVIOUSLY
 REVIEWED AT THE 13 DECEMBER 2000 PLANNING
 BOARD MEETING.

1. The project is located in the AP-1 Zoning District of the Town. The proposed medical office use is permitted use A-4 for the zone. The “required” bulk information on the plan is correct for the zone and use group.

The lot does appear to comply with the minimum bulk requirements. The bulk table has been expanded to indicate proposed bulk values. The table should be corrected since one side yard and one rear yard exists.

2. I have reviewed the latest plans submitted and have the following comments:
 - a. The site sign is shown near the road intersection with NYS Route 207. As long as sight distance for the intersection is not compromised, the location appears acceptable.
 - b. The plan now includes metes and bounds for property lines and what is indicated as lease lines, although all metes and bounds are not indicated, nor is the plan stamped by a licensed surveyor. The final plans should be complete.

- c. The latest plans have no drainage improvements other than what appears to be breaks in the curb lines and a drainage swale surrounding the parking lot. The notes on sheet GU-1 still refer to catch basins, although none are shown. The changes on these plans were not reviewed at a worksession. I do not believe the drainage design shown is acceptable.
- d. The project accesses an existing non-utilized roadway, which is now identified as Avenue of the Americas. The "road" appears to be barely 20 ft. wide and is of unknown condition and adequacy. No indication is made on the plan as to what improvements will be made, and by whom.
- e. If the water and sewer mains are to be installed to equivalent standards for Town dedication, detailed design plans and specifications would be required. None have been received.
- f. It is my understanding that a phased approach is desired for this site, with one building built as "phase 1". As previously noted, phasing of the site improvements must be addressed on the final plans.

Respectfully Submitted,



Mark J. Edsall, P.E., P.P.
Planning Board Engineer

MJE/st
NW00-204-10Jan01.doc

FIRST COLUMBIA SITE PLAN (00-204)

Mr. Jim Sperry and Mr. Chris Bette appeared before the board for this proposal.

MR. PETRO: Construction of 40,000 square foot medical office building.

MR. SPERRY: Jim Sperry, representing First Columbia. Project proposed is for a total of 40,000 square foot two story medical office building to be built in two phases, two 20,000 square foot structures that would have a central corridor connecting them, it's located at 555 Avenue of the Americas, I apologize, we didn't bring in our location map, but Route 207, Bruhn would be the next intersection down and this was Underhill Road, all right, in fact, the small gas substation used to be located right inside as you came in on the right-hand side fenced in area gas distribution substation that has since been removed, just to get the property location. And newly named Avenue of Americas comes all the way down, intersects Route 207, I guess the address 555 Avenue of the Americas, this is 3.8 acre parcel, again delineated by the property line shown on the map as submitted and it's located within the airport AP1 zone. As we propose, all the setbacks and area requirements are in compliance with the AP1 zone requirements. There's a correction in the application that we submitted in the narrative portion of that, it's actually a 72 percent lot coverage, we have indicated on the plan with a remaining 28 percent green, so it's in compliance with the maximum of 85 percent coverage. This will be built in two faces. First phase would commence in, or excuse me, would be completed in the fall of 2001 and second phase, second structure would be done in the following year. The intent would be, this has also two ingress egress points, one at the southern end of Avenue of Americas, one at the northern end. The first phase would involve building this portion closest to 207 along with--

MR. BETTE: I believe it's going to be the outer building would be the one done first.

MR. SPERRY: That would be the first one, very good.

That portion of the parking phase 2 then building 2 and then building the northern portion of the site. Parking is in accordance with the AP1 zone, one space for 175 square feet, requires 229, we're providing 267 spaces so again, we're within the requirements. It's within the Town's water and sewer district and the intent here is to extend showing a utility easement going up to Avenue of the Americas, use existing water and sewer now and, in fact, it's, I believe it's 8 inch water line right now but the Town is upgrading it slowly, ultimately, it will be a 12 and as we reviewed in our work session, we're proposing to bring down a 12 inch water line as a private line for the moment to be built to Town standards, that would come down with a hydrant located right down off the intersection of 207, an additional hydrant is shown on the plan, second ingress egress point.

MR. ARGENIO: Where is it coming from?

MR. SPERRY: From the service in Avenue of the Americas right up here already on the site, the Town is upgrading some of the services now that's why we're going to carry it down as a 12 and lateral service would carry into the site and feed to the individual buildings, sanitary is going to be done a little differently, we cannot achieve gravity because of the grades so we're going to use structural, we have these old lines into a pump station, located it right at this point and then we're going to carry 2 inch force main that will go up and discharge into the sanitary in Avenue of the Americas right now. So private line with the lift station right here and going in the northerly direction. Storm water management, the grading works out pretty well, we're showing a network of dry wells but we're looking at a couple of different scenarios, we're probably going to modify that, just because a little bit of knowledge of the soil conditions we're going to slope everything to the eastern side of the parcel and we'll have a small area along the site which will will act as a detention basin. As things are draining now, we have a discharge point and there's a low area located just about at this point. We've got in our final design we'll have the details on it, we'll have curb breaks at that point that are large enough so

we don't collect material and go into a grass area with an outflow. As far as the landscaping goes, we're trying to take advantage of the street tree theme already in the plaza so we're recommending that we're going to come in and put maple trees along 207 up Avenue of the Americas. There's a lot of natural vegetation, the way the grade is going to work will be able to remain along the perimeter of the site and come into the interior. And as we have done with some of the other projects, evergreen shrubs around the building and smaller shade trees in the parking area itself. It's really pretty straightforward, and again, everything works well within the requirements for the AP1 zone. Open it up for questions.

MR. PETRO: The phasing part of it you're either going to have to show the phasing of the site improvements on the plan and how you're going to do it and have to bond and treat it all as one plan and how you build it.

MR. SPERRY: We'll make a decision and show the phase line.

MR. PETRO: The smaller stuff, you can just get a copy of mark's comments on some of the technical. I've got one question here, though, in the little roof that's between the two buildings, tell me what that is.

MR. SPERRY: It's going to be the point of ingress egress to the buildings to house elevators and perhaps part of a stairway but it's going to be the area that the elevators can work and main entrance for the main structure.

MR. PETRO: It looks, there appears to be that the roof is independent of the two buildings, correct?

MR. SPERRY: It would have, yes.

MR. PETRO: Therefore, by being independent of the two buildings, I would say that that is, that structure between the two buildings and by being a structure between those two building I think you need a variance for the side yards.

MR. SPERRY: Actually no because it's--

MR. PETRO: Is it connected to the other structure?

MR. SPERRY: Yes, it is, just a different roof line.

MR. PETRO: So it's part of the main structure?

MR. SPERRY: Yes, but a different roof line for that portion of it, very clearly you'll see that it will be, footprint is going to follow it for Phase 1, all right, and for Phase 2.

MR. PETRO: It's connected to the other two then what I am saying has nothing to do with anything but if it is not connected, I would say that it is a structure on its own and you have a variance problem.

MR. SPERRY: Absolutely connected, simply housing the elements like the elevators for both the buildings, entrance for both the buildings.

MR. ARGENIO: I follow exactly what you're saying but he's got the right answer, there's no question about it, just another roof line, this is the right answer.

MR. SPERRY: That's what it is.

MR. PETRO: We're going to see a piece of rope tied from one building connected to the other.

MR. LANDER: So you're looking at using dry wells here?

MR. SPERRY: We were considering it, good recommendation, we're considering that so we can reduce the area that we may have to have for storm water management area, if we can utilize some dry wells and have a detention area and again, rather than having just a series of interconnected catch basins.

MR. LANDER: What kind of soils do you have here?

MR. BETTE: We've got a mix of soils, as we get on to the eastern side, it's a little more favorable but there's a mix for sure.

MR. LANDER: I'm not too crazy about dry wells.

MR. ARGENIO: I had some questions, too, along the lines of the drainage, Mr. Chairman, how far are we going to go with this tonight?

MR. PETRO: Just for conceptual layout, that's all.

MR. ARGENIO: I have the same concerns that Mr. Lander has, that area tends to be a heavy, shale till and the perc is almost nonexistent in that area, I mean, it's a nice idea, but I think you need to know the absorption, you need to get, so you can determine how much water you're going to discharge. Until you know the absorption, how do you know how much water you're going to discharge? I assume all the water discharges to the east into that area, that kind of floods on the side of 207, between 207 and the detention pond for Abcoa's parking lot, it's all going to end up somewhere in there.

MR. SPERRY: Actually, in the overall plan, we can bring a copy of it next time, everything discharges right down into a lower area right here, you're absolutely correct, as we have looked at this a little further, we're coming to the same conclusions, we think we're going to take and create an elongated detention area that would cover the entire length of this, just going to be a grassed area, we want nothing in it, it would be detention with discharge.

MR. ARGENIO: I think you're wise to look at that.

MR. PETRO: Motion to assume the position of lead agency.

MR. LUCAS: Make it.

MR. ARGENIO: Second it.

MR. PETRO: Motion has been made and seconded that the New Windsor Planning Board assume the position of lead agency under the SEQRA process for the First Columbia medical building. Is there any further discussion? If

not, roll call.

ROLL CALL

MR. ARGENIO	AYE
MR. BRESNAN	AYE
MR. LUCAS	AYE
MR. LANDER	AYE
MR. PETRO	AYE

MR. PETRO: I'd like to see the plan really cleaned up one more time before we schedule a public hearing, I mean, it's the time of year, I don't think we're going to be holding you up by doing that, if we can have one more meeting prior to a public hearing, it would be a good idea. The plan notes a property line prior to construction, this is unacceptable, property line issue must be resolved prior the approval. So there's a few things Mark has written down which need to be straightened out. Give you more time to get an idea about the drainage exactly what you're going to do there.

MR. SPERRY: Your next meeting is January 10?

MR. PETRO: Yes, there's nothing that you can do by then, when you get back, we'll schedule a public hearing and you can go from there. Mark, do you have anything else tonight?

MR. EDSALL: Not at this point.

MR. PETRO: Conceptually, does anybody have a problem with the layout of the building, the zone?

MR. LUCAS: Only thing is going back to where is the, we're the public out there, there's no other new buildings there, there's no other people out there, I mean.

MR. PETRO: Well, this particular one is right on 207 so there might be a few property owners across the street.

MR. SPERRY: We have identified them.

MR. PETRO: It's internal and we're the public but we still have a public hearing anyway.

MR. SPERRY: There will be a second January meeting, correct, so perhaps we can look at the public hearing in the second January meeting.

MR. PETRO: If you can get everything done to satisfy the paper and Myra, this will give you two weeks from the tenth, worst case scenario it would be the first meeting in February.

MR. SPERRY: We'll be ready for it.

MR. PETRO: If you're ready, we'll be ready.

MR. SPERRY: We'll be there.

MR. PETRO: Thank you.



McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS P.C.

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**TOWN OF NEW WINDSOR
PLANNING BOARD
REVIEW COMMENTS**

PROJECT NAME: FIRST COLUMBIA – MEDICAL OFFICE BUILDING
PROJECT LOCATION: NEW YORK INTERNATIONAL PLAZA
AVENUE OF THE AMERICAS
SECTION 3 – BLOCK 1 – LOT 55
PROJECT NUMBER: 00-204
DATE: 13 DECEMBER 2000
DESCRIPTION: THE APPLICATION PROPOSES THE
CONSTRUCTION OF TWO (2) 20,000 S.F. OFFICE
BUILDINGS ON THE 3.8 ACRE SITE OFF NYS ROUTE
207. THE APPLICATION WAS REVIEWED ON A
CONCEPT BASIS ONLY.

1. The project is located in the AP-1 Zoning District of the Town. The proposed medical office use is permitted use A-4 for the zone. The “required” bulk information on the plan is correct for the zone and use group.

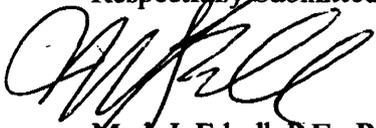
The lot does appear to comply with the minimum bulk requirements. The bulk table should be corrected to include proposed values for side yard, rear yard, frontage, and building height. Currently the table is incomplete.

The plan includes a parking requirements table. The plan appears to comply with the minimum requirements.

2. I have not made a detailed review of the plans. I do have the following preliminary comments for the Board’s consideration:
 - a. The board should decide if the general layout of the site is acceptable, as any changes will effect other site plan considerations.
 - b. The board should discuss the extent of landscaping shown on sheet LL-1, and advise the applicant of any additional requirements.
 - c. A site sign should be shown and detailed.

- d. The plan notes an approximate property line to be confirmed “prior to construction”. This is unacceptable. The property line issue must be resolved prior to approval.
 - e. I agree with the concept of utilizing seepage pits rather than conventional catch basin bases for the drainage system. I do not agree with the interconnecting pipe sizes and slopes. A proper outlet must be shown. Further design effort is required.
3. It is my understanding that a phased approach is desired for this site, with one building built as “phase 1”. Phasing of the site improvements must be addressed on the final plans.
 4. The Planning Board may wish to assume the position of Lead Agency under the SEQRA review process.
 5. The Planning Board should determine, for the record, if a Public Hearing will be required for this Site Plan, per its discretionary judgment under Paragraph 48-19.C of the Town Zoning Local Law.
 6. Once the Planning Board accepts conceptually this site plan, I will proceed with a detailed review of the application submittal.

Respectfully Submitted,



Mark J. Edsall, P.E., P.P.
Planning Board Engineer

MJE/st
NW00-204-13Dec00.doc

PLANNING BOARD : TOWN OF NEW WINDSOR
COUNTY OF ORANGE : STATE OF NEW YORK

-----X
In the Matter of Application for Site Plan/Subdivision of
First Columbia Medical Offices - Stewart Airport,
Applicant.

AFFIDAVIT OF
SERVICE
BY MAIL

-----X
STATE OF NEW YORK)
) SS.:
COUNTY OF ORANGE)

MYRA L. MASON, being duly sworn, deposes and says:

That I am not a party to the action, am over 18 years of age and reside at ~~350~~⁶⁷ Bethlehem Road, New Windsor, NY 12553.

On January 30, 2001, I compared the 10 addressed envelopes containing the attached Notice of Public Hearing with the certified list provided by the Assessor regarding the above application for Site Plan/Subdivision and I find that the addressees are identical to the list received. I then mailed the envelopes in a U.S. Depository within the Town of New Windsor.

Myra L. Mason
Myra L. Mason, Secretary for
the Planning Board

Sworn to before me this
30th day of January, 2001

Mary Ann Hotaling
Notary Public

MARY ANN HOTALING
Notary Public, State of New York
No. 01H05062877
Qualified in Orange County
Commission Expires July 8, 2001

3-1-36

NYS Department of Transportation
C/o Airport Director
NYS - DOT 1035 First Street
Stewart Airport
Newburgh, NY 12550

32-2-7

Central Hudson Gas & Electric Corp.
C/o Tax Agent
South Road
Poughkeepsie, NY 12602

32-2-8

Henry Stellwag
470 Little Britain Road
Newburgh, NY 12550

32-2-52

New York City Department of E P
C/o City of NY Dept. Bureau of Water
Supply OWSL
465 Columbus Ave., Suite 350
Valhalla, NY 10595

32-2-80

Sisters of the Presentation of Blessed
Virgin
Mt. Saint Joseph
880 Jackson Avenue
New Windsor, NY 12553

George J. Meyers, Supervisor
Town of New Windsor
555 Union Avenue
New Windsor, NY 12553

Dorothy H. Hansen, Town Clerk
Town of New Windsor
555 Union Avenue
New Windsor, NY 12553

Andrew Krieger, ESQ.
219 Quassaick Avenue
New Windsor, NY 12553

James R. Petro, Chairman
Planning Board
555 Union Avenue
New Windsor, NY 12553

Mark J. Edsall, P.E.
McGoey and Hauser
Consulting Engineers, P.C.
45 Quassaick Avenue
New Windsor, NY 12553

RESULTS OF P.B. MEETING OF: January 10, 2001

PROJECT: First Columbia **P.B.#** 00-204

LEAD AGENCY:

- 1. AUTHORIZE COORD LETTER: Y ___ N ___
- 2. TAKE LEAD AGENCY: Y ___ N ___

NEGATIVE DEC:

M) ___ S) ___ VOTE: A ___ N ___
CARRIED: YES ___ NO ___

M) ___ S) ___ VOTE: A ___ N ___
CARRIED: YES ___ NO ___

WAIVE PUBLIC HEARING: M) (N) S) A VOTE: A 5 N 0 WAIVED: Y ___ N ✓

SCHEDULE P.H. Y ✓ N ___

SEND TO O.C. PLANNING: Y ___

SEND TO DEPT. OF TRANSPORTATION: Y ___

REFER TO Z.B.A.: M) ___ S) ___ VOTE: A ___ N ___

RETURN TO WORK SHOP: YES ___ NO ___

APPROVAL:

M) ___ S) ___ VOTE: A ___ N ___ APPROVED: _____

M) ___ S) ___ VOTE: A ___ N ___ APPROVED CONDITIONALLY: _____

NEED NEW PLANS: Y ___ N ___

DISCUSSION/APPROVAL CONDITIONS:

<u>Need Work Shop</u>
<u>Sched. P.H.</u>



Town of New Windsor

555 Union Avenue
New Windsor, New York 12553
Telephone: (845) 563-4615
Fax: (845) 563-4693

OFFICE OF THE PLANNING BOARD

23 January 2001

New York State Department of Transportation
Permit Inspection Unit Office
112 Dickson Street
Newburgh, New York 12550

**SUBJECT: FIRST COLUMBIA MEDICAL OFFICE SITE PLAN
NEW WINDSOR APPLICATION NO. 00-204**

Gentlemen:

The Town of New Windsor Planning Board has received an application for Site Plan approval for a medical office located on NYS Rt. 207 within the Town. The Planning Board has determined that the existing private drive is inadequate and will need to be upgraded. This will require that the applicant obtain a Highway Work Permit from your Department.

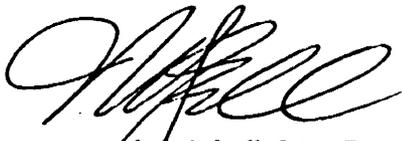
We are forwarding herewith two (2) copies of the plans submitted with the application for your review and comment. We request that you notify the Planning Board of any concerns regarding this application, which should be considered by the Board during their review of the project.

It is not the intent that these plans be considered the plans required for the Permit application, as these will be the responsibility of the applicant following site plan approval from the Town.

We look forward to your input regarding this application before the Board.

Very truly yours,

**TOWN OF NEW WINDSOR
PLANNING BOARD**



**Mark J. Edsall, P.E., P.P.
Planning Board Engineer**

MJE/st
NW00-204-DOT-012301.doc

RESULTS OF P.B. MEETING OF: December 13 2000

PROJECT: First Columbia

P.B.# 00-204

LEAD AGENCY:

- 1. AUTHORIZE COORD LETTER: Y ___ N ___
- 2. TAKE LEAD AGENCY: Y N ___

NEGATIVE DEC:

- M) ___ S) ___ VOTE: A ___ N ___
- CARRIED: YES ___ NO ___

M) U S) N VOTE: A 5 N 0
CARRIED: YES NO ___

WAIVE PUBLIC HEARING: M) ___ S) ___ VOTE: A ___ N ___ WAIVED: Y ___ N ___

SCHEDULE P.H. Y ___ N ___

SEND TO O.C. PLANNING: Y ___

SEND TO DEPT. OF TRANSPORTATION: Y ___

REFER TO Z.B.A.: M) ___ S) ___ VOTE: A ___ N ___

RETURN TO WORK SHOP: YES ___ NO ___

APPROVAL:

M) ___ S) ___ VOTE: A ___ N ___ APPROVED: _____

M) ___ S) ___ VOTE: A ___ N ___ APPROVED CONDITIONALLY: _____

NEED NEW PLANS: Y ___ N ___

DISCUSSION/APPROVAL CONDITIONS:

<i>Show phasing on plan.</i>
<i>Address Mark's comments</i>
<i>Revise and return</i>

Town of New Windsor
555 Union Avenue
New Windsor, NY 12553
(845) 583-4611

**RECEIPT
#912-2000**

12/11/2000

First Columbia L.L.C. *P.B. # 00-34 Application Fee*

Received \$ 100.00 for Planning Board Fees, on 12/11/2000. Thank you for stopping by the Town Clerk's office.

As always, it is our pleasure to serve you.

Dorothy H. Hansen
Town Clerk



Town of New Windsor

555 Union Avenue
New Windsor, New York 12553
Telephone: (845) 563-4631
Fax: (845) 563-4693

Assessors Office

December 7, 2000

James Sperry
80 Washington Street
Poughkeepsie, NY 12602

Re: 3-1-55 Town of New Windsor

Dear Mr. Sperry:

According to our records, the attached list of property owners are abutting to the above referenced property.

The charge for this service is \$25.00, minus your deposit of \$25.00.

There is no further balance due.

Sincerely,

A handwritten signature in cursive script that reads "L. Cook" followed by a circled set of initials "LRC".

Leslie Cook
Sole Assessor

LC/lrd
Attachments

CC: Myra Mason, PB

3-1-36
NYS Department of Transportation
C/o Airport Director
NYS - DOT 1035 First Street
Stewart Airport
Newburgh, NY 12550

32-2-7
Central Hudson Gas & Electric Corp.
C/o Tax Agent
South Road
Poughkeepsie, NY 12602

32-2-8
Henry Stellwag
470 Little Britain Road
Newburgh, NY 12550

32-2-52
New York City Department of E P
C/o City of NY Dept. Bureau of Water
Supply OWSL
465 Columbus Ave., Suite 350
Valhalla, NY 10595

32-2-80
Sisters of the Presentation of Blessed
Virgin
Mt. Saint Joseph
880 Jackson Avenue
New Windsor, NY 12553

George J. Meyers, Supervisor
Town of New Windsor
555 Union Avenue
New Windsor, NY 12553

Dorothy H. Hansen, Town Clerk
Town of New Windsor
555 Union Avenue
New Windsor, NY 12553

Andrew Krieger, ESQ.
219 Quassaick Avenue
New Windsor, NY 12553

James R. Petro, Chairman
Planning Board
555 Union Avenue
New Windsor, NY 12553

Mark J. Edsall, P.E.
McGoey and Hauser
Consulting Engineers, P.C.
45 Quassaick Avenue
New Windsor, NY 12553

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 12/11/2000

PAGE: 1

LISTING OF PLANNING BOARD FEES
ESCROW

FOR PROJECT NUMBER: 0-24
NAME: NEW YORK INTERNATIONAL PLAZA MEDICAL OFFICE BLDG
APPLICANT: FIRST COLUMBIA

--DATE--	DESCRIPTION-----	TRANS	--AMT-CHG	-AMT-PAID	--BAL-DUE
12/11/2000	REC. CK. #1773	PAID		750.00	
		TOTAL:	0.00	750.00	-750.00

A. Zappala

ORIGINAL DOCUMENT IS PRINTED ON CHEMICAL REACTIVE PAPER & HAS A MICROPRINTED BORDER

#00-24 Application

FIRST COLUMBIA, L.L.C. 518-213-1000
210 WASHINGTON AVENUE EXTENSION
ALBANY, NEW YORK 12203
(518) 452-1664

EXPLANATION	AMOUNT
NYIP MOB	

10-4/220

1774

PAY AMOUNT OF One hundred and 00/100 DOLLARS

CHECK AMOUNT

DATE	TO THE ORDER OF	DESCRIPTION	CHECK NUMBER
11/29/00	Town of New Windsor	Site plan application fee	1774

\$ 100.00



Manufacturers and Traders Trust Company
HUDSON VALLEY DIVISION

K. Batt

THE REVERSE SIDE OF THIS DOCUMENT INCLUDES AN ARTIFICIAL WATERMARK - HOLD AT AN ANGLE TO VIEW

⑈001774⑈ ⑆022000046⑆ 11000911286971⑈

ORIGINAL DOCUMENT IS PRINTED ON CHEMICAL REACTIVE PAPER & HAS A MICROPRINTED BORDER

3.#00-24 Escrow

FIRST COLUMBIA, L.L.C. 518-213-1000
210 WASHINGTON AVENUE EXTENSION
ALBANY, NEW YORK 12203
(518) 452-1664

EXPLANATION	AMOUNT
NYIP MOB	

10-4/220

1773

PAY AMOUNT OF Seven hundred fifty and 00/100 DOLLARS

CHECK AMOUNT

DATE	TO THE ORDER OF	DESCRIPTION	CHECK NUMBER
11/29/00	Town of New Windsor	Site plan Review	1773

\$ 750.00



Manufacturers and Traders Trust Company
HUDSON VALLEY DIVISION

K. Batt

THE REVERSE SIDE OF THIS DOCUMENT INCLUDES AN ARTIFICIAL WATERMARK - HOLD AT AN ANGLE TO VIEW

⑈001773⑈ ⑆022000046⑆ 11000911286971⑈



TOWN OF NEW WINDSOR

555 UNION AVENUE
NEW WINDSOR, NEW YORK 12553

NEW WINDSOR PLANNING BOARD REVIEW FORM

1763

TO: FIRE INSPECTOR, D.O.T., WATER, SEWER, ~~HIGHWAY~~

PLEASE RETURN COMPLETED FORM TO:

MYRA MASON, SECRETARY FOR THE PLANNING BOARD

PLANNING BOARD FILE NUMBER: 00-204

DATE PLAN RECEIVED: _____

The maps and plans for the Site Approval

Subdivision _____ as submitted by

_____ for the building or subdivision of

_____ has been

reviewed by me and is approved _____,

disapproved _____.

~~If disapproved, please list reason~~ _____

Subject to a note indicating the road will meet town specs.

Shirley Knull 01/15/01
HIGHWAY SUPERINTENDENT DATE

WATER SUPERINTENDENT DATE

SANITARY SUPERINTENDENT DATE

INTER-OFFICE CORRESPONDENCE

TO: Town Planning Board

FROM: Town Fire Inspector

DATE: June 25, 2001

SUBJECT: Medical Office Building

Planning Board Reference Number: PB-00-204

Dated: 21 June 2001

Fire Prevention Reference Number: FPS-01-043

A review of the above referenced site development plan was conducted on 25 June 2001.

This site plan is acceptable, however correction measures to the water system will be needed to conform with the Insurance Service Officer (ISO) requirements.

Plans Dated: 22 January 2001 Revision 3.



Robert F. Rodgers



McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS P.C.

RICHARD D. McGOEY, P.E.
WILLIAM J. HAUSER, P.E.
MARK J. EDSALL, P.E.
JAMES M. FARR, P.E.

- Main Office
45 Quassaick Ave. (Route 9)
New Windsor, New York 12553
(914) 562-8640
- Branch Office
507 Broad Street
Milford, Pennsylvania 18337
(717) 296-2765

PLANNING BOARD WORK SESSION
RECORD OF APPEARANCE

(TOWN) VILLAGE OF New Windsor P/B # 00-204
 WORK SESSION DATE: 17 Jan 01 APPLICANT RESUB. REQUIRED: Revised Plan
 REAPPEARANCE AT W/S REQUESTED: No
 PROJECT NAME: First Columbia
 PROJECT STATUS: NEW _____ OLD X
 REPRESENTATIVE PRESENT: T. O'Brien / J. Sperry
 MUNIC REPS PRESENT: BLDG INSP. _____
 FIRE INSP. X
 ENGINEER X
 PLANNER _____
 P/B CHMN. _____
 OTHER (Specify) Henry K.

ITEMS TO BE ADDRESSED ON RESUBMITTAL:

- Note re survey source - also show meter bonds
- different symbol for leave line
- Not phased now. - sequential C/O's
- 5' x 1' 9/8 seepage - Intercom fire outlet. 15
stone outlet.
- elec comb breakers
- rise @ elev @ entrances
- 6" 9/8. 1' above select NOT if r/d flr
- lift was authorized

_____ X CLOSING STATUS if plans
 _____ Set for agenda
 _____ possible agenda item
 _____ Discussion item for agenda
 _____ ZBA referral on agenda

pbwsform 10MJE98



STATE OF NEW YORK
DEPARTMENT OF TRANSPORTATION
4 BURNETT BOULEVARD
POUGHKEEPSIE, N.Y. 12603

ROBERT A. DENNISON III, P.E.
REGIONAL DIRECTOR

JOSEPH H. BOARDMAN
COMMISSIONER

January 22, 2001

Mr. Mark Edsall, P.E., P.P.
Town of New Windsor
555 Union Avenue
New Windsor, NY 12553

Dear Mr. Edsall,

RE: STATE ENVIRONMENTAL QUALITY REVIEW
First Columbia Medical Office Site Plan
New Windsor, Orange County



This Department has no objection to the Town of New Windsor Planning Board assuming the role of lead agency for this action.



We have reviewed the Environmental Assessment Form (EAF) and find the estimated number of vehicular trips to be accurate.



If a traffic study is prepared for the proposed project, please forward a copy to us for review.



Please be aware that a state Highway Work Permit will be required for any curb cuts and/or work within the NYS Route 207 right-of-way .

Very Truly Yours,

Adrienne G. Bautista
Civil Engineer I

RECEIVED
JAN 24 2001



1763

TOWN OF NEW WINDSOR

555 UNION AVENUE
NEW WINDSOR, NEW YORK 12553

NEW WINDSOR PLANNING BOARD REVIEW FORM

TO: FIRE INSPECTOR, D.O.T., WATER, SEWER, ~~HIGHWAY~~

PLEASE RETURN COMPLETED FORM TO:

RECEIVED

MYRA MASON, SECRETARY FOR THE PLANNING BOARD

JAN 09 2001

PLANNING BOARD FILE NUMBER:

00-204

N.W. HIGHWAY DEPT.

DATE PLAN RECEIVED:

RECEIVED

JAN - 5 2001

The maps and plans for the Site Approval _____
Subdivision _____ as submitted by _____
_____ for the building or subdivision of _____
_____ has been
reviewed by me and is approved _____,
disapproved _____.

If disapproved, please list reason _____

Road conditions not in compliance with town specifications

Shirley Hill *1/10/01*
HIGHWAY SUPERINTENDENT DATE

WATER SUPERINTENDENT DATE

SANITARY SUPERINTENDENT DATE



TOWN OF NEW WINDSOR

555 UNION AVENUE
NEW WINDSOR, NEW YORK 12553

NEW WINDSOR PLANNING BOARD REVIEW FORM

1763

TO: FIRE INSPECTOR, D.O.T., ~~██████~~, SEWER, HIGHWAY

PLEASE RETURN COMPLETED FORM TO:

MYRA MASON, SECRETARY FOR THE PLANNING BOARD

PLANNING BOARD FILE NUMBER: **00-204**

DATE PLAN RECEIVED: _____ RECEIVED
JAN - 5 2001

The maps and plans for the Site Approval _____

Subdivision _____ as submitted by _____

_____ for the building or subdivision of _____

1st Columbia - N.Y. International Plzn has been reviewed by me and is approved _____

~~disapproved~~ _____

~~If disapproved, please list reason~~ _____

Water is available for this project

→ To be discussed - Water in Stewart

HIGHWAY SUPERINTENDENT DATE

Stewart - 1-10-01

WATER SUPERINTENDENT DATE

SANITARY SUPERINTENDENT DATE

INTER-OFFICE CORRESPONCE

TO: Town Planning Board

FROM: Town Fire Inspector

DATE: January 8, 2001

SUBJECT: Medical Office Building

Planning Board Reference Number: PB-00-204

Dated: 5 January 2001

Fire Prevention Reference Number: FPS-01-006

A review of the above referenced subject site plan was conducted on 8 January 2001.

This site plan is acceptable.

Plans Dated: 5 January 2001



**Robert F. Rodgers
Fire Inspector**



1763

TOWN OF NEW WINDSOR

555 UNION AVENUE
NEW WINDSOR, NEW YORK 12553

NEW WINDSOR PLANNING BOARD REVIEW FORM

TO: FIRE INSPECTOR, D.O.T., ~~WATER~~, SEWER, HIGHWAY

PLEASE RETURN COMPLETED FORM TO:

MYRA MASON, SECRETARY FOR THE PLANNING BOARD

PLANNING BOARD FILE NUMBER: 00-204

DATE PLAN RECEIVED: _____ RECEIVED
DEC 11 2000

The maps and plans for the Site Approval _____

Subdivision _____ as submitted by

_____ for the building or subdivision of

1st Columbia _____ has been

reviewed by me and is approved

~~disapproved~~ _____

If disapproved, please list reason _____

Water line ends at Rt. 207 + Mt. Airy rd.

Other access should be discussed.

HIGHWAY SUPERINTENDENT DATE

James J. D'Amico 12-19-00

WATER SUPERINTENDENT DATE

SANITARY SUPERINTENDENT DATE



1763

TOWN OF NEW WINDSOR

555 UNION AVENUE
NEW WINDSOR, NEW YORK 12553

NEW WINDSOR PLANNING BOARD REVIEW FORM

TO: FIRE INSPECTOR, D.O.T., WATER, SEWER, HIGHWAY

PLEASE RETURN COMPLETED FORM TO:

MYRA MASON, SECRETARY FOR THE PLANNING BOARD

RECEIVED

JAN 09 2001

PLANNING BOARD FILE NUMBER:

00-204

N.W. HIGHWAY DEPT.

DATE PLAN RECEIVED:

RECEIVED

JAN - 5 2001

The maps and plans for the Site Approval _____

Subdivision _____ as submitted by

_____ for the building or subdivision of

_____ has been

reviewed by me and is approved _____,

disapproved _____.

If disapproved, please list reason _____

Road conditions not in compliance with town specifications

[Signature] *1/10/01*
HIGHWAY SUPERINTENDENT DATE

WATER SUPERINTENDENT DATE

SANITARY SUPERINTENDENT DATE

INTER-OFFICE MEMORANDUM

TO: Town Planning Board

FROM: Town Fire Inspector

DATE: December 12, 2000

SUBJECT: Medical Office Building

Planning Board Reference Number: PB-00-204
Dated: 11 December 2000
Fire Prevention Reference Number: FPS-00-045

A review of the above referenced subject subdivision plan was conducted on 12 December 2000.

This subdivision plan is acceptable.

Plans Dated: 8 December 2000.



Robert F. Rodgers
Fire Inspector



TOWN OF NEW WINDSOR

555 UNION AVENUE
NEW WINDSOR, NEW YORK 12553

NEW WINDSOR PLANNING BOARD REVIEW FORM

1763

TO: FIRE INSPECTOR, D.O.T., WATER, SEWER, ~~HIGHWAY~~

PLEASE RETURN COMPLETED FORM TO:

MYRA MASON, SECRETARY FOR THE PLANNING BOARD

PLANNING BOARD FILE NUMBER: 00-204
DATE PLAN RECEIVED: DEC 11 2000
RECEIVED

The maps and plans for the Site Approval _____
Subdivision _____ as submitted by
_____ for the building or subdivision of
_____ has been
reviewed by me and is approved
disapproved .

If disapproved, please list reason _____

Henry Hull 12-12-00
HIGHWAY SUPERINTENDENT DATE

WATER SUPERINTENDENT DATE

SANITARY SUPERINTENDENT DATE



McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS P.C.

RICHARD D. McGOEY, P.E.
WILLIAM J. HAUSER, P.E.
MARK J. EDSALL, P.E.
JAMES M. FARR, P.E.

Main Office
45 Quassaick Ave. (Route 9W)
New Windsor, New York 12553
(914) 562-8640
 Branch Office
507 Broad Street
Milford, Pennsylvania 18337
(717) 296-2765

PLANNING BOARD WORK SESSION
RECORD OF APPEARANCE

TOWN/VILLAGE OF New Windsor
WORK SESSION DATE: 12-6-00

P/B # 00-24 ²⁰⁴

REAPPEARANCE AT W/S REQUESTED: Not now Full

PROJECT NAME: First Columbia - Medical Office Bldg

PROJECT STATUS: NEW X OLD _____

REPRESENTATIVE PRESENT: Jim Sperry

MUNIC REPS PRESENT: BLDG INSP. _____
FIRE INSP. X
ENGINEER X
PLANNER _____
P/B CHMN. _____
OTHER (Specify) _____

ITEMS TO BE ADDRESSED ON RESUBMITTAL:
- Ave of Americas.
- 12" sewer; sewer by ejector both thru easement.
-
Trying for next Wed agenda.
If plans ↓

CLOSING STATUS
Set for agenda
X possible agenda item
Discussion item for agenda
ZBA referral on agenda

pbwsform 10MJE98



1763

TOWN OF NEW WINDSOR

555 UNION AVENUE
NEW WINDSOR, NEW YORK 12553
Telephone: (914) 563-4615
Fax: (914) 563-4693

PLANNING BOARD APPLICATION

TYPE OF APPLICATION (check appropriate item):

Subdivision ___ Lot Line Change ___ Site Plan Special Permit ___

Tax Map Designation: Sec. 3 Block 1 Lot 55

1. Name of Project New York International Plaza Medical Office Building

2. Owner of Record First Columbia, LLC Phone (518) 213-1000

Address: 26 Century Hill Drive Latham, NY 12110
(Street Name & Number) (Post Office) (State) (Zip)

3. Name of Applicant SAME AS ABOVE Phone _____

Address: _____
(Street Name & Number) (Post Office) (State) (Zip)

4. Person Preparing Plan BL Companies Phone 888-830-9272

Address: 80 Washington Street Poughkeepsie NY 12601
(Street Name & Number) (Post Office) (State) (Zip)

5. Attorney N/A Phone _____

Address _____
(Street Name & Number) (Post Office) (State) (Zip)

6. Person to be notified to appear at Planning Board meeting:

Christopher Bette (518) 213-1000
(Name) (Phone)

7. Project Location:

On the East side of Avenue of the Americas 100 feet
(Direction) (Street) (No.)
North of Route 207
(Direction) (Street)

8. Project Data: Acreage 4 Zone AP-1 School Dist. Washingtonville

00-24204

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DEC 11 2000

9. Is this property within an Agricultural District containing a farm operation or within 500 feet of a farm operation located in an Agricultural District? Yes _____ No X

***This information can be verified in the Assessor's Office.**

***If you answer "yes" to question 9, please complete the attached "Agricultural Data Statement".**

10. Description of Project: (Use, Size, Number of Lots, etc.) 40,000 S.F. Medical office building

11. Has the Zoning Board of Appeals Granted any Variances for this property? yes _____ no X

12. Has a Special Permit previously been granted for this property? yes _____ no X

ACKNOWLEDGMENT:

IF THIS ACKNOWLEDGMENT IS COMPLETED BY ANYONE OTHER THAN THE PROPERTY OWNER, A SEPARATE NOTARIZED STATEMENT OR PROXY STATEMENT FROM THE OWNER MUST BE SUBMITTED, AT THE TIME OF APPLICATION, AUTHORIZING THIS APPLICATION.

STATE OF NEW YORK)

SS.:

COUNTY OF ORANGE)

THE UNDERSIGNED APPLICANT, BEING DULY SWORN, DEPOSES AND STATES THAT THE INFORMATION, STATEMENTS AND REPRESENTATIONS CONTAINED IN THIS APPLICATION AND SUPPORTING DOCUMENTS AND DRAWINGS ARE TRUE AND ACCURATE TO THE BEST OF HIS/HER KNOWLEDGE AND/OR BELIEF. THE APPLICANT FURTHER ACKNOWLEDGES RESPONSIBILITY TO THE TOWN FOR ALL FEES AND COSTS ASSOCIATED WITH THE REVIEW OF THIS APPLICATION.

SWORN BEFORE ME THIS:

2nd DAY OF November 2000

Christopher Bette
APPLICANT'S SIGNATURE

Margery A. SaddleMire
MARGERY A. SADDLEMIRE
Notary Public, State of New York
No. 01SA6037524
Qualified in Albany County
NOTARY PUBLIC Commission Expires February 22, 2002

Christopher Bette
Please Print Applicant's Name as Signed

TOWN USE ONLY
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DEC 11 2000

DATE APPLICATION RECEIVED

00-24204

APPLICATION NUMBER

Request for Site Plan Approval
for
40,000 s.f. Medical Office Building



First Columbia, L.L.C. is proposing to construct a 40,000 s.f. Medical Office Building on a 3.8-acre parcel located in the Town of New Windsor, Orange County. The site is identified on the Town of New Windsor's Tax Map as Section 3, Block 1, and Lot 55, which is situated on the northeast corner of the Route 207/ Avenue of the Americas intersection. The facility will be owned and maintained by First Columbia and leased to area health providers. The facility will include various practices providing both general community care and specialized care. The tenants or main care provider for the facility has not been determined, at this time.

Property Overview

The 3.8-acre parcel is currently undeveloped and is located along Rte 207. Access to the parcel is from Avenue of the Americas (former Underhill Rd.). The parcel is moderately forested on relatively flat terrain with the exception of the east parcel line which slopes downward ten feet on approximately a 1 on 3 slope. The parcel is within the Town's water and sewer districts and is

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DEC 11 2000

F
FIRST COLUMBIA 204
00-24

located within the Town's zoning district, Airport-1 (AP-1). The proposed use for the property is allowed by the zoning and is consistent with adjacent uses.

Project Overview

The proposed use for the parcel is medical office with a gross building area of 40,000 s.f. The 40,000 s.f. building area is proposed to be housed in two 20,000 s.f., 2-story buildings attached by a common entrance. It is anticipated that the construction of the total building area and required parking will be completed in two phases. At this time, it is expected that the first phase will be completed in the Fall of 2001 with the second phase starting in 2002 with a Fall of 2002 completion. The site layout lends itself to phased construction. All phases will comply with zoning and siteplan requirements for parking, access and green area.

The site layout provides thirty-five percent green area while also providing two hundred fifty-five (255) parking spaces. A landscaped buffer will be constructed to screen the parking area from Route 207 and adjacent properties. Stormwater will be conveyed to the regional stormwater management facility in accordance with the Master Stormwater Management Design for New York International Plaza. Care will be taken in the design of the buildings, parking areas and landscaping to maintain the character of the area as well as provide a visually appealing approach from Route 207.

Site Statistics

Total Site Area	165,174 s.f. (100%)
Building Footprint Area	20,000 s.f. (12%)
Paved Area	87,542 s.f. (53%)
Green Area	57,632 s.f. (35%)

Impact on Utilities and Infrastructure

The parcel lies within the Town of New Windsor's water and sewer districts. However, it will be necessary to extend both services to the parcel from the former Wherry Housing area. Electric and natural gas utilities are located within Avenue of the Americas (former Underhill Rd.). All utilities will service the building using underground conduits. Sufficient capacity exists



FIRST COLUMBIA

00-21204

to handle the complete buildout of the proposed development. Similarly, the existing travel corridors provide enough capacity to handle the additional vehicle trips generated from this project. The hours of operation are expected to be typical business hours, 8:00 a.m. to 5:00 p.m., Monday through Friday.

The anticipated impacts on services are:

- P.M. Peak Hour Traffic = 130 vehicle trips
- Sanitary Sewer = 1600 gallon/day
- Water Usage = 1600 gallon/day
- Solid Waste = 5 tons/month

Utility demand is based on a maximum number of employees of 200 people or 1 person per every 200 s.f. gross floor area. Our experience as building owners and managers has shown that using 200 s.f. per person provides an estimate of utility usage that is safely above actual use.

The building tenants will participate in the local Recycling Program, minimizing the solid waste disposal quantity. In addition, medical waste will be transported and disposed of, separately, by licensed medical waste handlers.

00-24²⁰⁴

Φ

FIRST COLUMBIA

APPLICANT/OWNER PROXY STATEMENT
(for professional representation)

for submittal to the:
TOWN OF NEW WINDSOR PLANNING BOARD

GEORGE J. MEYERS, deposes and says that he resides
(OWNER)

at 2 Brandon Court, New Windsor, N. Y. 12553 in the County of Orange
(OWNER'S ADDRESS)

Supervisor of the TOWN OF NEW WINDSOR, the municipal corporation which is the
and State of New York and that he is the owner of property ~~located~~
formerly known as Stewart Army Subpost

(~~Sec~~ Block ~~Lot~~)
~~designation number (Sec~~ Block ~~Lot~~) which is the premises described in
the foregoing application and that he authorizes:

Christopher Bette
(Applicant Name & Address, if different from owner)

First Columbia, 210 Washington Avenue Extension, Albany, N. Y. 12203
(Name & Address of Professional Representative of Owner and/or Applicant)

to make the foregoing application as described therein.

Date: December 1, 1999.

Patricia A. Bankart
Witness' Signature

[Signature]
Owner's Signature Supervisor
TOWN OF NEW WINDSOR
By: George J. Meyers
Applicant's Signature if different than owner
Christopher Bette
Representative's Signature

THIS FORM CANNOT BE WITNESSED BY THE PERSON OR
REPRESENTATIVE OF THE COMPANY WHO IS BEING AUTHORIZED
TO REPRESENT THE APPLICANT AND/OR OWNER AT THE MEETINGS.

RECEIVED
DEC 11 2000

00-24204

APPLICANT/OWNER PROXY STATEMENT
(for professional representation)

for submittal to the:
TOWN OF NEW WINDSOR PLANNING BOARD

Town of New Windsor, deposes and says that he resides
(OWNER)
at 555 Union Avenue, New Windsor, NY 12533 in the County of Orange
(OWNER'S ADDRESS)
and State of New York and that he is the owner of property tax map
(Sec. Block Lot)
designation number (Sec. 3 Block 1 Lot 55) which is the premises described in
the foregoing application and that he authorizes:

First Columbia, LLC 26 Century Hill Drive, Latham, NY 12110
(Applicant Name & Address, if different from owner)

BL Companies, 80 Washington Street Poughkeepsie New York 12601
(Name & Address of Professional Representative of Owner and/or Applicant)

to make the foregoing application as described therein.

Date: 11/29/00

Margery A Saddlemyre
Witness' Signature

MARGERY A. SADDLEMIRE
Notary Public, State of New York
No. 01SA6037524
Qualified in Albany County
Commission Expires February 22, 2002

[Signature]
Owner's Signature

[Signature]
Applicant's Signature if different than owner

[Signature]
Representative's Signature

**THIS FORM CANNOT BE WITNESSED BY THE PERSON OR
REPRESENTATIVE OF THE COMPANY WHO IS BEING AUTHORIZED
TO REPRESENT THE APPLICANT AND/OR OWNER AT THE MEETINGS.**

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DEC 11 2000

204
00-24

TOWN OF NEW WINDSOR PLANNING BOARD

SITE PLAN CHECKLIST

ITEM

1. x Site Plan Title
2. x Provide 4" wide X 2" high box directly above title block
(preferably lower right corner) for use by Planning Board in
affixing Stamp of Approval (ON ALL PAGES OF SP)
3. x Applicant's Name(s)
4. x Applicant's Address
5. x Site Plan Preparer's Name
6. x Site Plan Preparer's Address
7. x Drawing Date
8. N/A Revision Dates
9. x Area Map Inset and Site Designation
10. N/A Properties within 500' of site
11. x Property Owners (Item #10)
12. x Plot Plan Existing Conditions Plan
13. x Scale (1" = 50' or lesser)
14. x Metes and Bounds
15. x Zoning Designation
16. x North Arrow
17. x Abutting Property Owners Separate Sheet
18. x Existing Building Locations (None)
19. x Existing Paved Areas
20. x Existing Vegetation
21. x Existing Access & Egress

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DEC 11 2000

PROPOSED IMPROVEMENTS

- 22. X Landscaping
- 23. X Exterior Lighting
- 24. X Screening
- 25. X Access & Egress
- 26. X Parking Areas
- 27. N/A Loading Areas
- 28. X Paving Details (Items 25 - 27)
- 29. X Curbing Locations
- 30. X Curbing through section
- 31. X Catch Basin Locations
- 32. X Catch Basin Through Section
- 33. X Storm Drainage
- 34. x Refuse Storage
- 35. N/A Other Outdoor Storage
- 36. X Water Supply
- 37. ⁴X Sanitary Disposal System
- 38. X Fire Hydrants
- 39. X Building Locations
- 40. X Building Setbacks
- 41. Front Building Elevations To Be Provided
- 42. N/A Divisions of Occupancy
- 43. N/A Sign Details
- 44. x Bulk Table Inset
- 45. X Property Area (Nearest 100 sq. ft.)
- 46. X Building Coverage (sq. ft.)
- 47. X Building Coverage (% of total area)
- 48. N/A Pavement Coverage (sq. ft.)
- 49. N/A Pavement Coverage (% of total area)
- 50. N/A Open Space (sq. ft.)
- 51. N/A Open Space (% of total area)
- 52. X No. of parking spaces proposed
- 53. X No. of parking spaces required

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DEC 11 2000

00-24204

REFERRING TO QUESTION 9 ON THE APPLICATION FORM, "IS THIS PROPERTY WITHIN AN AGRICULTURAL DISTRICT CONTAINING A FARM OPERATION OR WITHIN 500 FEET OF A FARM OPERATION LOCATED IN AN AGRICULTURAL DISTRICT, PLEASE NOTE THE FOLLOWING:

54. N/A Referral to Orange County Planning Dept. is required for all applicants filing AD Statement.

55. N/A A disclosure Statement, in the form set below, must be inscribed on all subdivision maps prior to the affixing of a stamp of approval, whether or not the Planning Board specifically requires such a statement as a condition of approval.

"Prior to the sale, lease, purchase, or exchange of property on this site which is wholly or partially within or immediately adjacent to or within 500 feet of a farm operation, the purchaser or leaser shall be notified of such farm operation with a copy of the following notification.

It is the policy of this State and this community to conserve, protect and encourage the development and improvement of agricultural land for the production of food, and other products, and also for its natural and ecological value. This notice is to inform prospective residents that the property they are about to acquire lies partially or wholly within an agricultural district or within 500 feet of such a district and that farming activities occur within the district. Such farming activities may include, but not be limited to, activities that cause noise, dust and odors.

This list is provided as a guide only and is for the convenience of the Applicant. The Town of New Windsor Planning Board may require additional notes or revisions prior to granting approval.

PREPARER'S ACKNOWLEDGMENT:

THE PLAT FOR THE PROPOSED SITE PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THIS CHECKLIST AND THE TOWN OF NEW WINDSOR ORDINANCES, TO THE BEST OF MY KNOWLEDGE.

BY: [Signature] 12/7/00
Licensed Professional Date

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00-24204

State Environmental Quality Review
FULL ENVIRONMENTAL ASSESSMENT FORM

Purpose: The full EAF is designed to help applicants and agencies determine, in an orderly manner, whether a project or action may be significant. The question of whether an action may be significant is not always easy to answer. Frequently, there are aspects of a project that are subjective or unmeasurable. It is also understood that those who determine significance may have little or no formal knowledge of the environment or may not be technically expert in environmental analysis. In addition, many who have knowledge in one particular area may not be aware of the broader concerns affecting the question of significance.

The full EAF is intended to provide a method whereby applicants and agencies can be assured that the determination process has been orderly, comprehensive in nature, yet flexible enough to allow introduction of information to fit a project or action.

Full EAF Components: The full EAF is comprised of three parts:

- Part 1:** Provides objective data and information about a given project and its site. By identifying basic project data, it assists a reviewer in the analysis that takes place in Parts 2 and 3.
- Part 2:** Focuses on identifying the range of possible impacts that may occur from a project or action. It provides guidance as to whether an impact is likely to be considered small to moderate or whether it is a potentially large impact. The form also identifies whether an impact can be mitigated or reduced.
- Part 3:** If any impact in Part 2 is identified as potentially large, then Part 3 is used to evaluate whether or not the impact is actually important.

DETERMINATION OF SIGNIFICANCE - Type 1 and Unlisted Actions

Identify the Portions of EAF completed for this project: Part 1 Part 2 Part 3

Upon review of the information recorded on this EAF (Parts 1 and 2 and 3 if appropriate), and any other supporting information, and considering both the magnitude and importance of each impact, it is reasonable determined by the lead agency that:

- A. The project will not result in any large and important impact(s) and, therefore, is one which will not have a significant impact on the environment, therefore a **negative declaration will be prepared.**
SEE ATTACHED RESOLUTION
- B. Although the project could have a significant effect on the environment, there will not be a significant effect for this Unlisted Action because the mitigation measures described in PART 3 have been required, therefore a **CONDITIONED negative declaration will be prepared.***
- C. The project may result in one or more large and important impacts that may have a significant impact on the environment, therefore a **positive declaration will be prepared.**

A Conditioned Negative Declaration is only valid for Unlisted Actions.

FIRST COLUMBIA SITE PLAN - MEDICAL OFFICE

Name of Action

TOWN OF NEW WINDSOR PLANNING BOARD

Name of Lead Agency

JAMES PETRO, PB CHAIRMAN

Print or Type Name of Responsible Officer in Lead Agency

P.B. CHAIRMAN

Title of Responsible Officer

FEB 14, 2000

Date

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PART 1 - PROJECT INFORMATION
Prepared by Project Sponsor

NOTICE: This document is designed to assist in determining whether the action proposed may have a significant effect on the environment. Please complete the entire form, Parts A through E. Answers to these questions will be considered as part of the application for approval and may be subject to further verification and public review. Provide any additional information you believe will be needed to complete Parts 2 and 3.

It is expected that completion of the full EAF will be dependent on information currently available and will not involve new studies, research or investigation. If information requiring such additional work is unavailable, so indicate and specify each instance.

NAME OF ACTION <i>40,000 s.f. Medical Office Bldg. Site Plan. Review</i>		
LOCATION OF ACTION <i>555 Avenue of the Americas</i>		
NAME OF APPLICANT/SPONSOR <i>First Columbia L.L.C.</i>		BUSINESS TELEPHONE <i>(518) 213-1000</i>
ADDRESS <i>26 Century Hill Dr.</i>		
CITY/PO <i>Latham</i>	STATE <i>NY</i>	ZIP CODE <i>12110</i>
NAME OF OWNER (if different) <i>Town of New Windsor</i>		BUSINESS TELEPHONE <i>(845) 563-4611</i>
ADDRESS <i>555 Union Ave.</i>		
CITY/PO <i>New Windsor</i>	STATE <i>NY</i>	ZIP CODE <i>12553</i>
DESCRIPTION OF ACTION <i>Construction of a 40,000 s.f. medical office bldg. with associated parking on a 4 acre site.</i>		

Please Complete Each Question - Indicate N.A. if not applicable.

A. Site Description

Physical setting of overall project, both developed and undeveloped areas.

1. Present Land Use: Urban Industrial Commercial Residential Rural (non-farm)
 Forest Agricultural Other

2. Total acreage of project area: 3.8(+/-) acres

APPROXIMATE ACREAGE	PRESENTLY	AFTER COMPLETION
Meadow or Brushland (Non-Agricultural)	_____ acres	_____ acres
Forested	<u>3.8(+/-)</u> acres	<u>0.22(+/-)</u> acres
Agricultural (includes orchards, cropland, pasture, etc.)	_____ acres	_____ acres
Wetland (freshwater or tidal as per Articles 24, 25 of ECL)	_____ acres	_____ acres
Water Surface Area	_____ acres	_____ acres
Unvegetated (rock, earth fill)	_____ acres	_____ acres
Roads, buildings and other paved surfaces	_____ acres	<u>2.5(+/-)</u> acres
Other (Indicate type: <u>lawn, landscaped areas</u>)	_____ acres	<u>1.08(+/-)</u> acres

3. What is predominant soil type(s) on project site: Mardin, Swartswood, Erie
- a. Soil drainage: Well drained _____% of site Moderately well drained 100% of site
 Poorly drained _____% of site

b. If any agricultural land is involved, how many acres of soil are classified within soil group 1 through 4 of the NYS Land Classification System? N/A acres.

4. Are there bedrock outcroppings on project site? Yes No
- a. What is depth to bedrock? +5 feet

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5. Approximate percentage of enclosed project site with slopes: 0-10% 10-15% 2%
 15% or greater 7%
6. Is project substantially contiguous to or contain a building site, or district, listed on the State or National Registers of Historic Places? Yes No
7. Is project substantially contiguous to a site listed on the Register of National Natural Landmarks? Yes No
8. What is the depth of the water table? +5 (in feet)
9. Is site located over a primary, principal, or sole source aquifer? Yes No
10. Do hunting, fishing or shell fishing opportunities presently exist in the project area? Yes No
11. Does project site contain any species of plant or animal life that is identified as threatened or endangered? Yes No
 According to STAS environmental assessment, prepared by Northern Ecological Assoc., Inc.
12. Are there any unique or unusual land forms on the project site? (i.e. cliffs, dunes, or other geological formations) Yes No
13. Is the project site presently used by the community or neighborhood as an open space or recreation area? If yes, explain: Yes No
14. Does the present site include scenic views known to be important to the community? Yes No
15. Streams within or contiguous to the project area: Yes
 a. Name of Stream and name of River to which it is tributary: Gillick Brook, Beaver Dam Lake, & Unnamed, Lake Washington
16. Lakes, ponds, wetland areas within or contiguous to project area: NO
 a. Name: _____ b. Size (in acres): _____
17. Is the site served by existing public utilities? Yes No
 a. If Yes, does sufficient capacity exist to allow connection? Yes No
 b. If Yes, will improvements be necessary to allow connection? Yes No
18. Is the site located in an agricultural district certified pursuant to Agriculture and Markets Law 25-AA, Section 303 and 304? Yes No
19. Is the site located in or substantially contiguous to a Critical Environmental Area designated pursuant to Article 8 of the ECL, and 6 NYCRR 617? Yes No
20. Has the site ever been used for the disposal of solid or hazardous waste? Yes No

B. Project Description

1. Physical dimensions and scale of project (fill in dimensions as appropriate)
- a. Total contiguous acreage owned or controlled by project sponsor: 260(+/-) acres.
- b. Project acreage to be developed: 3.8(+/-) acres initially; 3.8(+/-) acres ultimately.
- c. Project acreage to remain undeveloped: 22(+/-) acres.
- d. Length of project in miles: N.A. (if appropriate).
- e. If the project is an expansion, indicate percent of expansion proposed: N/A %.
- f. Number of off-street parking spaces existing: 0; proposed: 255(+/-).
- g. Maximum vehicular trips generated per hour: 130 P.M. peak (upon project completion).
- h. If residential, number and type of housing units:
- | | One Family | Two Family | Multiple Family | Condominium |
|------------|-------------|-------------|-----------------|-------------|
| Initially | <u>N.A.</u> | <u>N.A.</u> | <u>N.A.</u> | <u>N.A.</u> |
| Ultimately | <u>N.A.</u> | <u>N.A.</u> | <u>N.A.</u> | <u>N.A.</u> |
- i. Dimensions (in feet) of largest proposed structure: 35(+/-) height; 80(+/-) ft. width; 130(+/-) ft. length.
- j. Linear feet of frontage along a public thoroughfare project will occupy is: 430(+/-) feet.

2. How much natural material (rock, earth, etc.) will be removed from the site? 0 cubic yards.
3. Will disturbed areas be reclaimed? Yes No
 a. If Yes, for what intended purpose is site being reclaimed? use on site
 b. Will topsoil be stockpiled for reclamation? Yes No
 c. Will upper subsoil be stockpiled for reclamation? Yes No
4. How many acres of vegetation (trees, shrubs, ground covers) will be removed from site? 3.5(+/-) acres.
5. Will any mature forest (over 100 years old) or other locally important vegetation be removed from site? Yes No
6. If single-phase project, anticipated period of construction: N.A. months (including demolition).
7. If multi-phased: 24(+/-) months
 a. Total number of phases anticipated: 2 (number).
 b. Anticipated date of commencement of phase one: 4 month, 2001 year.
 c. Approximate completion date of final phase: 3 month, 2003 year.
 d. Is phase one functionally dependent on subsequent phases? Yes No
8. Will blasting occur during construction? Yes No
9. Number of jobs generated - during construction: 20; after project is complete: 100 (+/-).
10. Number of jobs eliminated by this project: 0.
11. Will project require relocation of any projects or facilities? Yes No
 If Yes, explain: _____
12. Is surface liquid waste disposal involved? Yes No
 a. If Yes, indicate type of waste (sewage, industrial, etc.) and amount: Sanitary Sewage - 1600 gpd
 Name of water body into which effluent will be discharged: Town of New Windsor STP
13. Is subsurface liquid waste disposal involved? Yes No
14. Will surface area of an existing body of water increase or decrease by proposal? Yes No
 If Yes, explain: _____
15. Is project or any portion of project located in a 100-year floodplain? Yes No
16. Will project generate solid waste? Yes No
 a. If Yes, what is the amount per month? 5 tons
 b. If Yes, will an existing solid waste facility be used? Yes No
 c. If Yes, give name: Newburgh Transfer Station; location: Newburgh, NY
 d. Will any wastes not go into a sewage disposal system or into a sanitary landfill? Yes No
 If Yes, explain: Recyclables will be taken to Hudson Baylor Recycling, medical waste will be disposed of in accordance with State Health Dept. regulations.
17. Will project involve the disposal of solid waste? Yes No
 a. If Yes, what is the anticipated rate of disposal? N.A. tons/month
 b. If Yes, what is the anticipated site life? N.A. Years
18. Will project use herbicides and pesticides? Yes No
19. Will project routinely produce odors (more than one hour per day)? Yes No
20. Will project produce operating noise exceeding the local ambient noise levels? Yes No
21. Will project result in an increase in energy use? Yes No
 If Yes, indicate type(s): electricity and fuel for heating, air conditioning, and lighting.
22. If water supply is from wells, indicate pumping capacity: N.A. gallons/minute
23. Total anticipated water usage per day: 1600 gallons/day
24. Does project involve Local, State or Federal funding? IDA funding may be applied for, if qualified. Yes No

Approvals Required:

- City, Town, Village, Board
- City, Town, Village, Planning Board
- City, Town, Zoning Board
- City, County Health Department
- Other Local Agencies (Arch. Review Board)
- Other Regional Agencies (O.C. Planning)
- State Agencies (NYSDEC)
- Federal Agencies (USACOE)

- Yes No

Type

Site Plan

Submittal

Pending

C. Zoning and Planning Information

1. Does proposed action involve a planning or zoning decision? Yes No
 If Yes, indicate decision required:
 zoning amendment zoning variance special use permit subdivision site plan
 new/revision of master plan resource management plan other
2. What is the zoning classification(s) of the site? Airport -1 (AP-1)
3. What is the maximum potential development of the site if developed as permitted by the present zoning?
35,000(+/-) s.f. building footprint
4. What is the proposed zoning of the site? N.A.
5. What is the maximum potential development of the site if developed as permitted by the proposed zoning? N.A.
6. Is the proposed action consistent with the recommended uses in adopted local land use plans? Yes No
7. What are the predominant land uses and zoning classifications within one-quarter mile?
School, Vacant, Church, Army Housing demolished 1999
8. Is the proposed action compatible with adjoining/surrounding land uses within a quarter mile? Yes No
9. If the proposed action is a subdivision of land, how many lots are proposed? N.A.
 What is the minimum lot size proposed? N.A.
10. Will proposed action require any authorization(s) for the formation of sewer or water districts? Yes No
11. Will proposed action create a demand for any community provided services (recreation, education, police, fire protection)? Yes No
 a. If Yes, is existing capacity sufficient to handle projected demand? Yes No
12. Will proposed action result in the generation of traffic significantly above present levels? Yes No

D. INFORMATION DETAILS

Attach any additional information as may be needed to clarify your project. If there are or may be any adverse impacts associated with your proposal, please discuss such impacts and the measures which you propose to mitigate or avoid them.

E. VERIFICATION

I certify that the information provided here is true to the best of my knowledge.

Applicant/Sponsor Name: First Columbia L.L.C.

Date: December 6, 2000

Signature: *Christina Smith*

Title: Applicant

If the action is in the Coastal Area, and you are a state agency, complete the Coastal Assessment Form before proceeding with this assessment.

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Part 2—PROJECT IMPACTS AND THEIR MAGNITUDE

Responsibility of Lead Agency

General Information (Read Carefully)

- In completing the form the reviewer should be guided by the question: Have my responses and determinations been reasonable? The reviewer is not expected to be an expert environmental analyst.
- Identifying that an impact will be potentially large (column 2) does not mean that it is also necessarily significant. Any large impact must be evaluated in PART 3 to determine significance. Identifying an impact in column 2 simply asks that it be looked at further.
- The Examples provided are to assist the reviewer by showing types of impacts and wherever possible the threshold of magnitude that would trigger a response in column 2. The examples are generally applicable throughout the State and for most situations. But, for any specific project or site other examples and/or lower thresholds may be appropriate for a Potential Large Impact response, thus requiring evaluation in Part 3.
- The impacts of each project, on each site, in each locality, will vary. Therefore, the examples are illustrative and have been offered as guidance. They do not constitute an exhaustive list of impacts and thresholds to answer each question.
- The number of examples per question does not indicate the importance of each question.
- In identifying impacts, consider long term, short term and cumulative effects.

Instructions (Read carefully)

- a. Answer each of the 19 questions in PART 2. Answer Yes if there will be any impact.
- b. Maybe answers should be considered as Yes answers.
- c. If answering Yes to a question then check the appropriate box (column 1 or 2) to indicate the potential size of the impact. If impact threshold equals or exceeds any example provided, check column 2. If impact will occur but threshold is lower than example, check column 1.
- d. If reviewer has doubt about size of the impact then consider the impact as potentially large and proceed to PART 3.
- e. If a potentially large impact checked in column 2 can be mitigated by change(s) in the project to a small to moderate impact, also check the Yes box in column 3. A No response indicates that such a reduction is not possible. This must be explained in Part 3.

IMPACT ON LAND

1. Will the proposed action result in a physical change to the project site?
 NO YES

Examples that would apply to column 2

- Any construction on slopes of 15% or greater, (15 foot rise per 100 foot of length), or where the general slopes in the project area exceed 10%.
- Construction on land where the depth to the water table is less than 3 feet.
- Construction of paved parking area for 1,000 or more vehicles.
- Construction on land where bedrock is exposed or generally within 3 feet of existing ground surface.
- Construction that will continue for more than 1 year or involve more than one phase or stage.
- Excavation for mining purposes that would remove more than 1,000 tons of natural material (i.e., rock or soil) per year.
- Construction or expansion of a sanitary landfill.
- Construction in a designated floodway.
- Other impacts _____

Will there be an effect to any unique or unusual land forms found on the site? (i.e., cliffs, dunes, geological formations, etc.) NO YES

- Specific land forms: _____

1 Small to Moderate Impact	2 Potential Large Impact	3 Can Impact Be Mitigated By Project Change
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No

IMPACT ON WATER

3. Will proposed action affect any water body designated as protected? (Under Articles 15, 24, 25 of the Environmental Conservation Law, ECL)

NO YES

Examples that would apply to column 2

- Developable area of site contains a protected water body.
- Dredging more than 100 cubic yards of material from channel of a protected stream.
- Extension of utility distribution facilities through a protected water body.
- Construction in a designated freshwater or tidal wetland.
- Other impacts: _____

4. Will proposed action affect any non-protected existing or new body of water?

NO YES

Examples that would apply to column 2

- A 10% increase or decrease in the surface area of any body of water or more than a 10 acre increase or decrease.
- Construction of a body of water that exceeds 10 acres of surface area.
- Other impacts: _____

5. Will Proposed Action affect surface or groundwater quality or quantity?

NO YES

NOT SIGNIFICANT

Examples that would apply to column 2

- Proposed Action will require a discharge permit.
- Proposed Action requires use of a source of water that does not have approval to serve proposed (project) action.
- Proposed Action requires water supply from wells with greater than 45 gallons per minute pumping capacity.
- Construction or operation causing any contamination of a water supply system.
- Proposed Action will adversely affect groundwater.
- Liquid effluent will be conveyed off the site to facilities which presently do not exist or have inadequate capacity.
- Proposed Action would use water in excess of 20,000 gallons per day.
- Proposed Action will likely cause siltation or other discharge into an existing body of water to the extent that there will be an obvious visual contrast to natural conditions.
- Proposed Action will require the storage of petroleum or chemical products greater than 1,100 gallons.
- Proposed Action will allow residential uses in areas without water and/or sewer services.
- Proposed Action locates commercial and/or industrial uses which may require new or expansion of existing waste treatment and/or storage facilities.
- Other impacts: _____

6. Will proposed action alter drainage flow or patterns, or surface water runoff?

NO YES

Examples that would apply to column 2

- Proposed Action would change flood water flows.

Minor

1 Small to Moderate Impact	2 Potential Large Impact	3 Can Impact Be Mitigated By Project Change	
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes	<input type="checkbox"/> No
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes	<input type="checkbox"/> No
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes	<input type="checkbox"/> No
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes	<input type="checkbox"/> No
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<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes	<input type="checkbox"/> No
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes	<input type="checkbox"/> No
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes	<input type="checkbox"/> No

**IMPACT ON GROWTH AND CHARACTER
OF COMMUNITY OR NEIGHBORHOOD**

3. Will proposed action affect the character of the existing community?
 NO YES

Examples that would apply to column 2

- The permanent population of the city, town or village in which the project is located is likely to grow by more than 5%.
- The municipal budget for capital expenditures or operating services will increase by more than 5% per year as a result of this project.
- Proposed action will conflict with officially adopted plans or goals.
- Proposed action will cause a change in the density of land use.
- Proposed Action will replace or eliminate existing facilities, structures or areas of historic importance to the community.
- Development will create a demand for additional community services (e.g. schools, police and fire, etc.)
- Proposed Action will set an important precedent for future projects.
- Proposed Action will create or eliminate employment.
- Other impacts: _____

1 Small to Moderate Impact	2 Potential Large Impact	3 Can Impact Be Mitigated By Project Change
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No
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<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No

19. Is there, or is there likely to be, public controversy related to potential adverse environmental impacts? NO YES

**If Any Action in Part 2 Is Identified as a Potential Large Impact or
If You Cannot Determine the Magnitude of Impact, Proceed to Part 3**

Part 3—EVALUATION OF THE IMPORTANCE OF IMPACTS

Responsibility of Lead Agency

Part 3 must be prepared if one or more impact(s) is considered to be potentially large, even if the impact(s) may be mitigated.

Instructions

Discuss the following for each impact identified in Column 2 of Part 2:

1. Briefly describe the impact.
2. Describe (if applicable) how the impact could be mitigated or reduced to a small to moderate impact by project change(s).
3. Based on the information available, decide if it is reasonable to conclude that this impact is **important**.

To answer the question of importance, consider:

- The probability of the impact occurring
- The duration of the impact
- Its irreversibility, including permanently lost resources of value
- Whether the impact can or will be controlled
- The regional consequence of the impact
- Its potential divergence from local needs and goals
- Whether known objections to the project relate to this impact.

(Continue on attachments)

**TOWN OF NEW WINDSOR
PLANNING BOARD**

**APPLICATION OF
FIRST COLUMBIA, LLC**

SEQRA RESOLUTION

FEBRUARY 14, 2001

WHEREAS, First Columbia, LLC (the "Applicant") has submitted an application for site plan approval (the "Application") for a 40,000 square foot medical office building (the "Project") to be located on 3.8 acres of land located at the northeast corner of the Avenue of the Americas/Route 207 intersection (the "Site"); and

WHEREAS, the Town of New Windsor Planning Board (the "Planning Board") has duly considered the Application, the Full Environmental Assessment Form ("EAF") and supporting documentation, the proposed Site Plan, the history of the Site and its environs;

NOW, THEREFORE, be it resolved that:

1. The Planning Board, acting as lead agency under Article 8 of the Environmental Conservation Law and its implementing regulations at 6 NYCRR Part 617 (collectively, the "State Environmental Quality Review Act", or "SEQRA"), has considered the Project as an "action" under SEQRA, and identified the relevant areas of environmental concern.
2. The Project constitutes an Unlisted Action under SEQRA.
3. The annexed Findings Statement is hereby adopted and incorporated herein by reference.
4. Based on the matters set forth in the Application, the EAF, the Site Plan, the Findings Statement and the record, the Project will not have a significant adverse effect on the environment.

**TOWN OF NEW WINDSOR
PLANNING BOARD**

**APPLICATION OF
FIRST COLUMBIA, LLC**

**SEQRA FINDINGS
STATEMENT**

FEBRUARY 14, 2001

The Town of New Windsor Planning Board (the "Planning Board"), acting pursuant to Article 8 of the Environmental Conservation Law and 6 NYCRR Part 617, hereby finds and determines that:

A. THE PROJECT

1. First Columbia, LLC (the "Applicant") has submitted an application for site plan approval (the "Application") for a 40,000 square foot medical office building (the "Project") to be located on 3.8 acres of land at the northeast corner of the Route 207/Avenue of the Americas intersection (the "Site").
2. Access to the Project will be provided from an existing access to NYS Route 207 to be improved as proposed in connection with the project.
3. The Site is zoned Airport-1 (AP-1) and the use is consistent with adjacent uses.
4. The Site is part of the New York International Plaza development, a 260± acre previously developed area formerly occupied by United States Military.

B. UTILITIES

1. The Site lies within the Town of New Windsor water and sewer districts, and services can be extended from the former Wherry Housing area. Sufficient capacity exists for the projected 1600 gpd flows.
2. Electric and natural gas are available to the Site.
3. Stormwater will be collected and conveyed via on-site improvements for discharge to adjoining vacant properties of the Plaza.

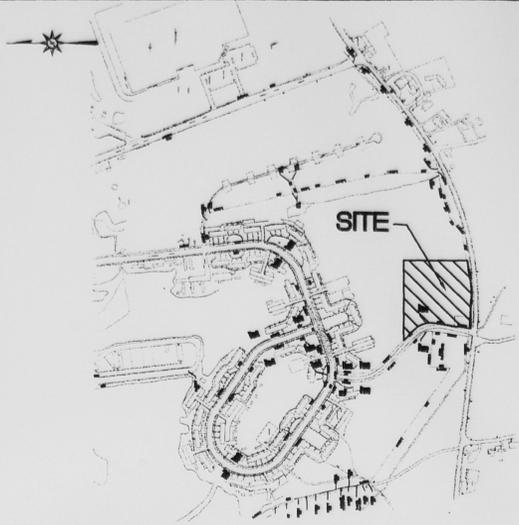
C. TRAFFIC, ACCESS AND PARKING

1. With the proposed widening and resurfacing improvements, the Project access from the former Underhill Road is adequate with respect to width, grade, alignment and visibility to service the projected 130 peak hour vehicle trips.
2. The 255 parking spaces are consistent with Town zoning requirements and the proposed parking layout provides appropriate on-site circulation, as well as safe and convenient access to the Project.
3. A NYSDOT highway work permit is required for access to NYS Route 207.

4. An adequate landscaped buffer will be constructed by the Applicant to screen the parking area from Route 207 and nearby properties.

D. PROCEDURAL ISSUES

1. The Project is within the New York International Plaza redevelopment area. There is no present overall proposed redevelopment plan on record for the Plaza. However, the Planning Board acknowledges that the Applicant hopes to formulate and propose a overall redevelopment plan in the future as redevelopment options become more defined and certain.
2. The Planning Board finds that, in the absence of a current, concrete redevelopment plan, the approval of the Project does not represent the "segmenting" of the Project from future development in the area.
3. In the event the approval of the Project could be considered "segmentation" as that term is used in SEQRA, the Planning Board also finds that the consideration and approval of the Project at this time is appropriate for the following reasons:
 - a. the Project has independent function and utility, separate and apart from any possible overall redevelopment of New York International Plaza in that it is a separate office building that could function as a stand-alone development;
 - b. approval of the Project does not commit the Planning Board to any particular actions or future approvals with respect to any additional redevelopment which may be proposed in the future in this area; and
 - c. review and approval of the Project at this time is no less protective of the environment than deferral to some unknown future date; any overall redevelopment plan which may be proposed for New York International Plaza will be subject to full review and consideration under SEQRA, with impacts from the Project included in the analysis.



AREA MAP
SCALE: 1"=500'

SITE PLAN SUBMITTAL DOCUMENTS

PROPOSED MEDICAL OFFICE BUILDING TAX PARCEL I.D. 3-1-55

NEW YORK INTERNATIONAL PLAZA TOWN OF NEW WINDSOR ORANGE COUNTY NEW YORK

APPLICANT:



26 CENTURY HILL DRIVE
LATHAM, NEW YORK 12110
(518) 213-1000
(518) 213-1020 Fax

PREPARED BY:



ARCHITECTURE ENGINEERING PLANNING LANDSCAPE ARCHITECTURE
LAND SURVEYING ENVIRONMENTAL SCIENCES ANALYTICAL SERVICES

80 Washington Street, Suite 310
Poughkeepsie, NY 12601
(845) 485-7088
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REVISION DATE: NOVEMBER 15, 2001

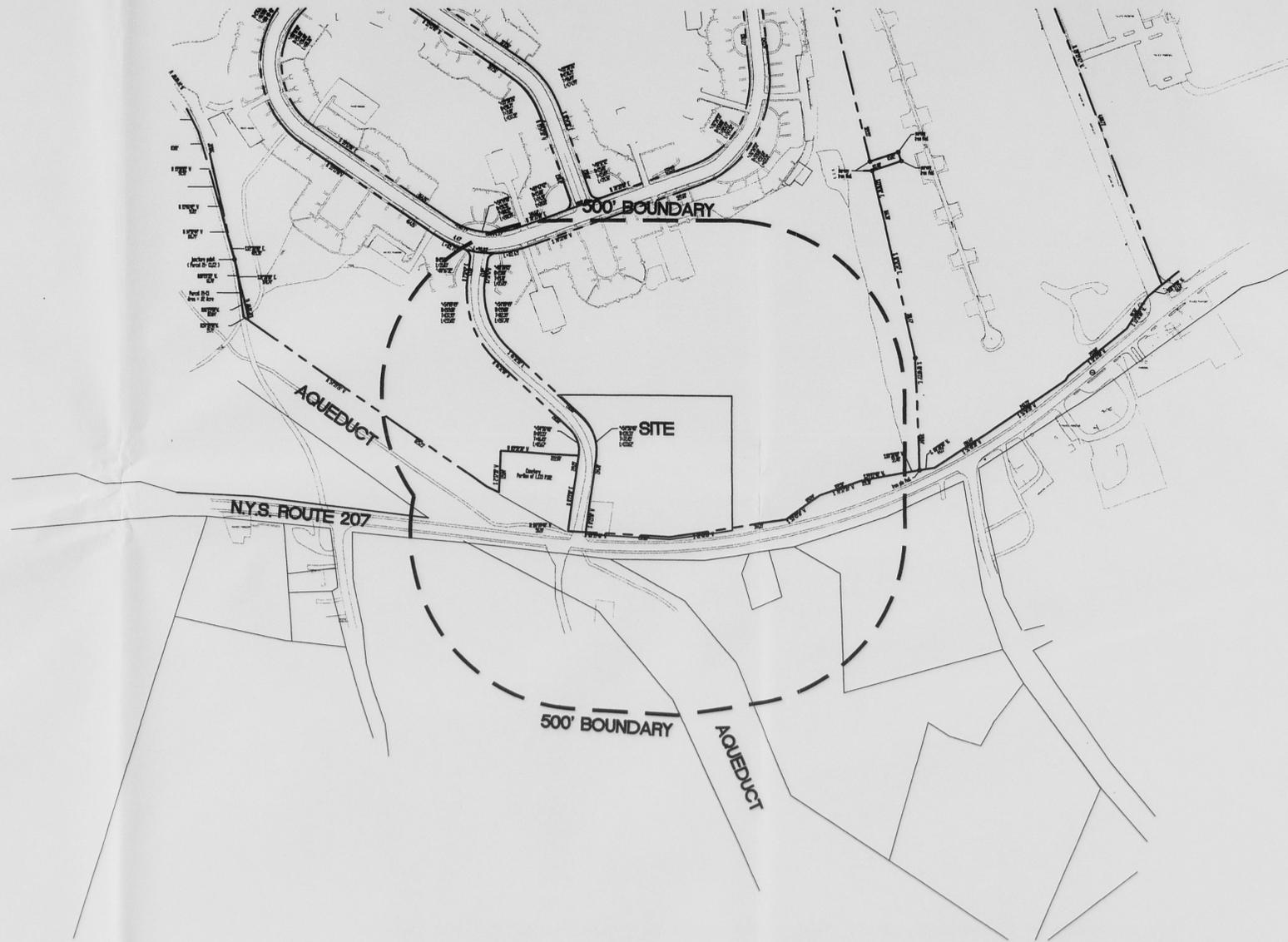
REVISION DATE: AUGUST 15, 2001
REVISION DATE: JULY 23, 2001
REVISION DATE: JANUARY 22, 2001
REVISION DATE: JANUARY 05, 2001
SUBMITTAL DATE: DECEMBER 8, 2000

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EX-1 EXISTING CONDITIONS MAP
SP-1 SITE PLAN
GU-1 GRADING, UTILITIES AND EROSION CONTROL PLAN
LL-1 LANDSCAPING PLAN
LP-1 LIGHTING PLAN
PR-1 PROFILE SHEET
DN-1, 2 DETAIL SHEETS



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ANALYTICAL SERVICES

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PREPARED FOR:

**FIRST
COLUMBIA**

500' BOUNDARY MAP
PROPOSED MEDICAL OFFICE BUILDING
NEW YORK INTERNATIONAL PLAZA
TOWN OF NEW WINDSOR

REVISIONS	No.	Date	Desc.

Designed T.J.O.
Drawn S.M.C.
Checked T.J.O.
Approved R.A.L.
Scale 1" = 200'
Project No. 00N395
Date 12/08/00
CAD File BMN39501

Title
**500'
BOUNDARY
MAP**

Sheet No.

BM-1



MAP REFERENCE
 BASE MAP PROPERTY LINES TAKEN FROM MAP ENTITLED "REAL PROPERTY LAND ACQUISITION SURVEYS FOR TOWN OF NEW WINDSOR" DATED OCTOBER 1, 1999, AS PREPARED BY EDWARD T. ZABACK, LICENSED LAND SURVEYOR.

TOWN OF NEW WINDSOR
 APPROVAL GRANT: PLANNING BOARD
 STAMP OF APPROVAL

SEP 26 2002

Edward T. Zaback

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 LAND SURVEYING
 ENVIRONMENTAL SCIENCES
 ANALYTICAL SERVICES

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PREPARED FOR:

FIRST COLUMBIA

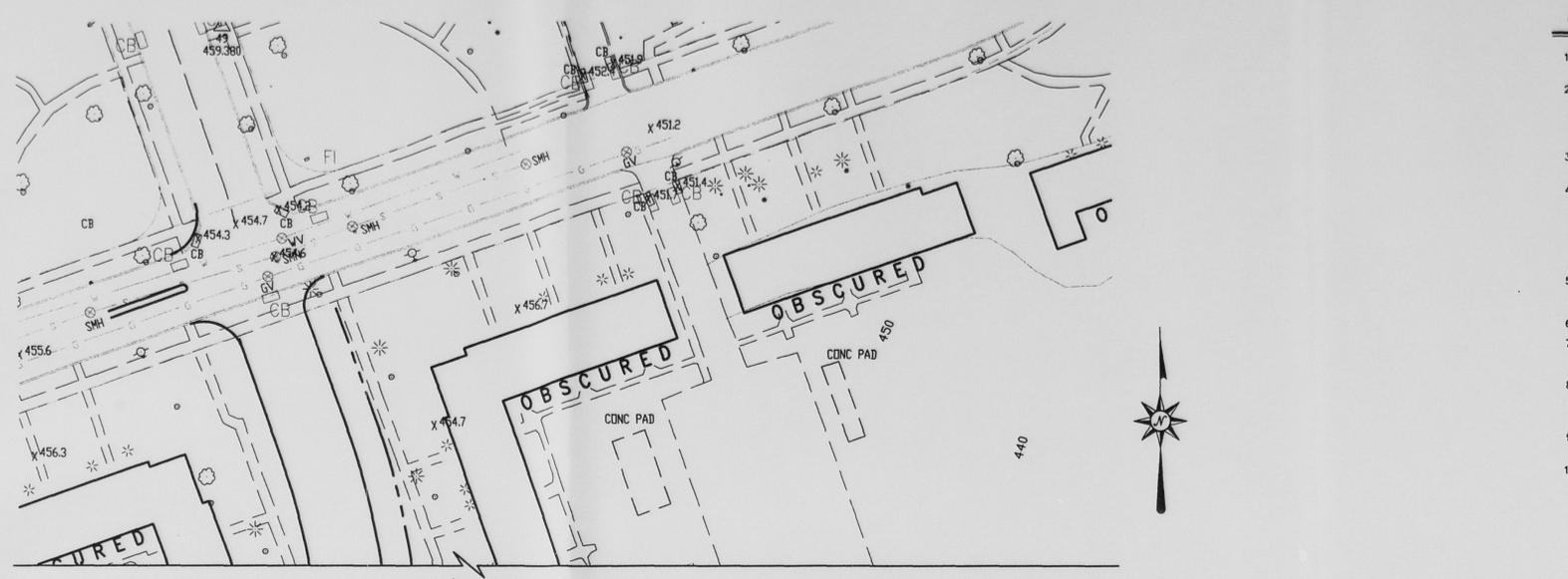
EXISTING CONDITIONS MAP
 PROPOSED MEDICAL OFFICE BUILDING
 NEW YORK INTERNATIONAL PLAZA
 TOWN OF NEW WINDSOR

REVISIONS	Date	Desc.	REVISE PER	COMMENTS
No. 1	07/22/01			

Designed T.J.O.
 Drawn S.M.C.
 Checked T.J.O.
 Approved R.A.L.
 Scale 1" = 40'
 Project No. 00N395
 Date 12/08/00
 CAD File EXN39501

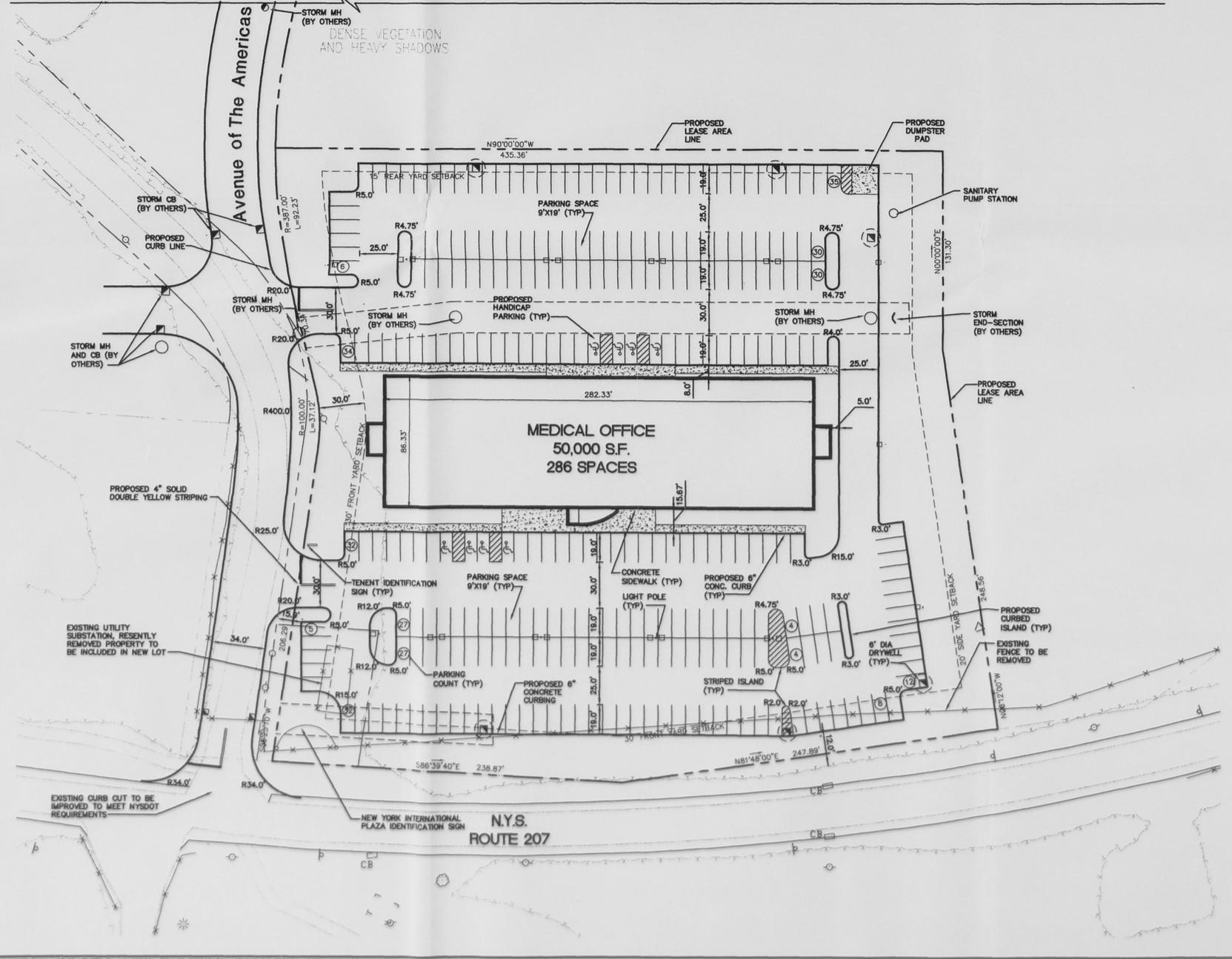
Title
 EXISTING CONDITIONS MAP
 Sheet No.
EX-1

THESE DRAWINGS SHALL NOT BE UTILIZED BY ANY PERSON, FIRM OR CORPORATION WITHOUT THE SPECIFIC WRITTEN PERMISSION OF BL COMPANIES.



GENERAL NOTES

1. ALL CONSTRUCTION SHALL COMPLY WITH THE TOWN OF NEW WINDSOR ZONING AND SUBDIVISION ORDINANCES.
2. THE DEVELOPER IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS REQUIRED BY GOVERNMENT AGENCIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE TOWN OF NEW WINDSOR REQUIRED TO PERFORM THE WORK. THE CONTRACTOR SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC CONTROL NECESSARY FOR THIS WORK.
3. PRIOR TO START OF CONSTRUCTION, INFORM ALL AREA UTILITY COMPANIES OF PLANNED CONSTRUCTION.
4. REFER TO OTHER PLANS AND DETAIL SHEETS FOR ADDITIONAL INFORMATION. THE CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS IN THE FIELD AND CONTACT THE SITE ENGINEER IF THERE ARE ANY QUESTIONS OR CONFLICTS REGARDING THE CONSTRUCTION DOCUMENTS AND/OR FIELD CONDITIONS SO THAT APPROPRIATE REVISIONS CAN BE MADE PRIOR TO BIDDING. ANY CONFLICT BETWEEN DRAWINGS AND THE SPECIFICATIONS SHALL BE CONFIRMED WITH THE LOCAL CONSTRUCTION MANAGER PRIOR TO BIDDING.
5. THE CONTRACTOR SHALL REFERENCE ARCHITECTURAL PLANS FOR EXACT DIMENSIONS AND CONSTRUCTION DETAILS OF BUILDING, DUMPSTER ENCLOSURE, RAISED CONCRETE SIDEWALKS AND RAMPS.
6. REFER TO THE DETAIL SHEETS FOR PAVEMENT, CURBING, AND SIDEWALK INFORMATION.
7. ALTERNATIVE METHODS AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED IF REVIEWED AND APPROVED BY THE OWNER, ENGINEER, AND THE APPROPRIATE REGULATORY AGENCIES PRIOR TO INSTALLATION.
8. THE CONTRACTOR SHALL RESTORE ANY UTILITY STRUCTURE, PIPE, UTILITY, PAVEMENT, CURBS, SIDEWALKS, OR LANDSCAPED AREAS DISTURBED DURING CONSTRUCTION TO THEIR ORIGINAL CONDITION OR BETTER TO THE SATISFACTION OF THE TOWN OF NEW WINDSOR.
9. TRAFFIC CONTROL MEASURES SHALL BE UTILIZED IN ACCORDANCE WITH NYS DOT STANDARDS.
10. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL PRODUCTS, MATERIALS AND PLANT SPECIFICATIONS TO THE OWNER, LOCAL CONSTRUCTION MANAGER AND SITE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR DELIVERY TO THE SITE. ALLOW A MINIMUM OF 15 WORKING DAYS FOR REVIEW.
11. THE CONTRACTOR SHALL PROVIDE AS-BUILT RECORDS OF ALL CONSTRUCTION (INCLUDING UTILITIES) TO THE OWNER AT THE END OF CONSTRUCTION.
12. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN MAINTENANCE OF TRAFFIC DEVICES FOR PROTECTION OF VEHICLES AND PEDESTRIANS CONSISTING OF DRUMS, BARRIERS, SIGNS, LIGHTS, FENCES AND UNIFORMED TRAFFIC MEN AS REQUIRED OR ORDERED BY THE ENGINEER OR REQUIRED BY THE LOCAL GOVERNING AUTHORITIES. CONTRACTOR SHALL MAINTAIN ALL TRAFFIC LANES AND PEDESTRIAN WALKWAYS AT ALL TIMES UNLESS WRITTEN APPROVAL FROM THE TOWN OF NEW WINDSOR IS GRANTED.
13. SHOULD ANY UNCHARTED OR INCORRECTLY CHARTED, EXISTING PIPING OR OTHER UTILITY BE UNCOVERED DURING EXCAVATION, CONSULT THE ENGINEER AND RESPECTIVE UTILITY COMPANY IMMEDIATELY FOR DIRECTIONS BEFORE PROCEEDING FURTHER WITH THE WORK IN THIS AREA.
14. DO NOT INTERRUPT EXISTING UTILITIES SERVING FACILITIES OCCUPIED AND USED BY THE OWNER OR OTHERS DURING OCCUPIED HOURS EXCEPT WHEN SUCH INTERRUPTIONS HAVE BEEN AUTHORIZED IN WRITING BY THE OWNER AND THE TOWN OF NEW WINDSOR. INTERRUPTIONS SHALL ONLY OCCUR AFTER ACCEPTABLE TEMPORARY SERVICE HAS BEEN PROVIDED.
15. UNLESS OTHERWISE INDICATED AT A SPECIFIC LOCATION, ALL FINISHED GRADES ARE TO CONFORM TO AND MATCH EXISTING GRADES.
16. OSHA REGULATIONS MAKE IT UNLAWFUL TO OPERATE CRANES, BOOMS, HOISTS, ETC. WITHIN TEN (10) FEET OF ANY ELECTRIC LINE UNDER 50KV. IF CONTRACTOR MUST OPERATE EQUIPMENT CLOSE TO ELECTRIC LINES, CONTACT POWER COMPANY TO MAKE ARRANGEMENTS FOR PROPER SAFEGUARDS.
17. ALL SITE DIMENSIONS ARE REFERENCED TO THE FACE OF CURBS OR EDGE OF PAVING UNLESS OTHERWISE NOTED. ALL BUILDING DIMENSIONS ARE REFERENCED TO THE OUTSIDE FACE OF THE STRUCTURE. MINIMUM CURB RADIUS IS 2' ALL KNOWN EASEMENTS AND RIGHTS-OF-WAY HAVE BEEN SHOWN ON THIS PLAN.
18. REFERENCE BUILDING ARCHITECTURAL PLANS PREPARED BY OTHERS FOR EXACT BUILDING DIMENSIONS.
19. THE OWNER MAY RETAIN AN INDEPENDENT TESTING LABORATORY FOR SOIL AND PAVEMENT TEST TO BE DETERMINED BY THE OWNER AND SITE ENGINEER, IF NECESSARY. THE CONTRACTOR IS RESPONSIBLE FOR COST INCURRED DUE TO SCHEDULING PROBLEMS OR FOR REPEATED TESTING.
20. ALL ENGINEERING WORK TO BE PERFORMED TO LATEST PLANNING BOARD SPECIFICATIONS AND REQUIREMENTS.
21. ALL UTILITIES SHALL BE UNDERGROUND, AS PER PLANNING BOARD SPECIFICATIONS.
22. EXISTING CURBS, SIDEWALKS AND DRIVEWAY APRONS ARE TO BE REMOVED AND REPLACED FROM EXPANSION JOINT TO EXPANSION JOINT TO ITS FULL DEPTH FOR INSTALLATION AND/OR REMOVAL OF CURB CUTS AND FOR THE REPLACEMENT OF DAMAGES WHETHER INCURRED PRIOR TO OR DURING CONSTRUCTION.



ZONING INFORMATION

LOCATION: TOWN OF NEW WINDSOR				
ZONE: AIRPORT-A (AP-1)				
USE: (PERMITTED USE) OFFICE BUILDING				
ITEM #	ITEM	REQUIREMENTS OFFICE BUILDING (A4)	PROPOSED	VARIANCE
1	MINIMUM LOT AREA (SF)	40,000	174,813 S.F. 4.01 ACRES	N/A
2	MINIMUM LOT WIDTH (FT)	100	384 FT	N/A
3	MINIMUM FRONT SETBACK (FT)	30	30.27 FT	N/A
4	MINIMUM SIDE SETBACK (FT)	20/40	82 FT	N/A
5	MINIMUM REAR SETBACK (FT)	15	149 FT	N/A
6	MINIMUM STREET FRONTAGE	N/A	N/A	N/A
7	MAXIMUM BUILDING HEIGHT (FT)	90'	32 FT	N/A
8	MAXIMUM LOT COVERAGE	85 PERCENT	84.93 PERCENT	N/A

PARKING INFORMATION

ITEM #	ITEM	REQUIREMENTS	PROPOSED	VARIANCE
1	PARKING REQUIRED BY TOWN	OFFICE 1 SPACE PER 175 SF OF TOTAL FLOOR AREA 50,000 / 175 = 286 SPACES	286 SPACES	N/A
2	MINIMUM PARKING DIMENSIONS	9x19	9x19	N/A
3	MINIMUM AISLE WIDTH	25'	25'	N/A
4	MINIMUM FRONT SETBACK	N/A	N/A	N/A
5	MINIMUM SIDE SETBACK	N/A	N/A	N/A
6	MINIMUM REAR SETBACK	N/A	N/A	N/A

MAP REFERENCE

BASE MAP PROPERTY LINES TAKEN FROM MAP ENTITLED "REAL PROPERTY LAND ACQUISITION SURVEYS FOR TOWN OF NEW WINDSOR" DATED OCTOBER 1, 1999, AS PREPARED BY EDWARD T. ZABACK, LICENSED LAND SURVEYOR.

TOWN OF NEW WINDSOR
PLANNING BOARD
STAMP OF APPROVAL



80 Washington Street, Suite 310
Poughkeepsie, NY 12601
(845) 485-7088
(845) 485-7131 Fax



SITE PLAN
PROPOSED MEDICAL OFFICE BUILDING
NEW YORK INTERNATIONAL PLAZA
TOWN OF NEW WINDSOR

REVISIONS

No.	Date	Desc.
1.	01/05/01	REVISED PER COMMENTS
2.	01/22/01	REVISED PER COMMENTS
3.	05/21/01	AMENDED BUILDING, REMOVE SITE ID SIGN
4.	07/23/01	REVISE PER CLIENT COMMENTS
5.	08/15/01	REVISE PER CLIENT COMMENTS
6.	11/15/01	REVISE PER CLIENT COMMENTS

Designed T.J.O.
Drawn S.M.C.
Checked T.J.O.
Approved R.A.L.
Scale 1" = 40'
Project No. 001395
Date 12/08/00
CAD File SPN39501

Title
SITE PLAN
Sheet No.

SP-1

THESE DRAWINGS SHALL NOT BE UTILIZED BY ANY PERSON, FIRM OR CORPORATION WITHOUT THE SPECIFIC WRITTEN PERMISSION OF BL COMPANIES

GENERAL NOTES

1. ALL CONSTRUCTION SHALL COMPLY WITH THE TOWN OF NEW WINDSOR STANDARDS. ALL CONSTRUCTION WITHIN A STATE RIGHT OF WAY SHALL COMPLY WITH ALL STATE OF NEW YORK DEPARTMENT OF TRANSPORTATION STANDARDS.
2. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS REQUIRED BY GOVERNMENT AND LOCAL AGENCIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE TOWN OF NEW WINDSOR REQUIRED TO PERFORM ALL THE REQUIRED WORK. THE CONTRACTOR SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC CONTROL NECESSARY FOR THIS WORK.
3. PROPER CONSTRUCTION PROCEDURES SHALL BE FOLLOWED ON ALL IMPROVEMENTS WITHIN THIS PARCEL SO AS TO PREVENT THE SILTING OF WATERCOURSES AND OFFSITE AREAS IN ACCORDANCE WITH THE REGULATIONS OF THE TOWN OF NEW WINDSOR AND THE DEPARTMENT OF ENVIRONMENTAL CONSERVATION GUIDELINES FOR SOIL EROSION AND SEDIMENT POLLUTION CONTROL.
4. STORMWATER DISCHARGE EASEMENT SHALL BE GRANTED TO THE TOWN OF NEW WINDSOR TO OUTLET

UTILITY CONSTRUCTION NOTES

1. UTILITY CONNECTION DESIGN AS REFLECTED ON THIS PLAN MAY CHANGE SUBJECT TO UTILITY CO. AND TOWN STAFF REVIEW.
2. PROPER COORDINATION WITH THE RESPECTIVE UTILITY COMPANY SHALL BE PERFORMED BY THE CONTRACTOR TO INSURE THAT ALL UTILITY COMPANIES (AND TOWN) STANDARDS FOR MATERIALS AND CONSTRUCTION METHODS ARE MET.
3. ALL UTILITY CONSTRUCTION IS SUBJECT TO INSPECTION PRIOR TO APPROVAL FOR BACKFILL IN ACCORDANCE WITH THE APPROPRIATE UTILITY COMPANY AND/OR TOWN OF NEW WINDSOR REQUIREMENTS.
4. ALL DISTURBANCE INCURRED TO TOWN AND/OR STATE PROPERTY DUE TO CONSTRUCTION SHALL BE RESTORED TO ITS PREVIOUS CONDITION OR BETTER, TO THE SATISFACTION OF THE TOWN OF NEW WINDSOR AND/OR THE STATE OF NEW YORK REPRESENTATIVE.
5. THIS PLAN DETAILS PIPES UP TO 5' FROM THE BUILDING FACE. REFER TO DRAWINGS BY OTHERS FOR BUILDING CONNECTIONS, SUPPLY AND INSTALL PIPE ADAPTERS AS NECESSARY.
6. INFORMATION ON EXISTING UTILITIES HAS BEEN COMPILED FROM AVAILABLE INFORMATION INCLUDING UTILITY COMPANY AND MUNICIPAL RECORD MAPS AND FIELD SURVEY AND IS NOT GUARANTEED CORRECT OR COMPLETE. UTILITIES ARE SHOWN TO ALERT THE CONTRACTOR TO THEIR PRESENCE. THE CONTRACTOR AND/OR RESPONSIBLE PARTY IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES INCLUDING SERVICES. PRIOR TO CONSTRUCTION, CONTACT "CALL BEFORE YOU DIG" AT 1-800-962-7962 AND VERIFY ALL UNDERGROUND AND OVERHEAD UTILITY LOCATIONS.
7. THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY THE ELEVATION AND LOCATION OF ALL UTILITIES BY VARIOUS MEANS PRIOR TO BEGINNING ANY EXCAVATION. THE CONTRACTOR SHALL CONTACT THE OWNER'S REPRESENTATIVE IN THE EVENT OF ANY UNFORESEEN CONFLICTS BETWEEN EXISTING AND PROPOSED UTILITIES SO THAT AN APPROPRIATE MODIFICATION MAY BE MADE.
8. ALTERNATIVE METHODS AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED IF REVIEWED AND APPROVED BY THE OWNER, SITE ENGINEER, AND APPROPRIATE REGULATORY AGENCY PRIOR TO INSTALLATION.
9. THE CONTRACTOR SHALL RESTORE ANY DRAINAGE STRUCTURE, PIPE, UTILITY, PAVEMENT, CURBS, SIDEWALKS, OR LANDSCAPED AREAS DISTURBED DURING CONSTRUCTION TO THEIR ORIGINAL CONDITION OR BETTER.

GRADING NOTES

1. THIS DRAWING IS INTENDED TO DESCRIBE GRADING AND UTILITIES ONLY. REFER TO DRAWING SP-1 SITE PLAN FOR GENERAL INFORMATION, AND DRAWINGS DN-1, AND 2 FOR DETAILS.
2. THE CONTRACTOR SHALL PRESERVE EXISTING TREES WHERE POSSIBLE.
3. TOPSOIL SHALL BE STRIPPED AND STOCKPILED FOR USE IN FINAL LANDSCAPING.
4. THE CONTRACTOR SHALL COMPACT FILL UNDER ALL PARKING, BUILDING, AND DRIVE AREAS AS DIRECTED BY THE OWNER'S REPRESENTATIVE.
5. MANHOLE RIMS AND CATCH BASIN GRATES SHALL BE SET TO ELEVATIONS SHOWN, AND ADJUSTED 1/4" BELOW GRADE IN PAVED AREAS. SET ALL EXISTING MANHOLE RIMS AND VALVE COVERS TO BE RAISED OR LOWERED FLUSH WITH FINAL GRADE AS NECESSARY.

CONSTRUCTION NOTES

1. ALL PIPES SHALL BE LAID ON STRAIGHT ALIGNMENTS AND EVEN GRADES USING A PIPE LASER OR OTHER ACCURATE METHOD.
2. RELOCATION OF UTILITY COMPANY FACILITIES SUCH AS POLES, TO BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE FACILITY OWNERS.
3. ALL WATER LINES TO HAVE MINIMUM 5' COVER. ALL LINES SHALL BE BEDDED IN 6" SAND AND BACKFILLED WITH 12" SAND.
4. THE CONTRACTOR SHALL COMPACT THE PIPE BACKFILL IN 8' LIFTS ACCORDING TO THE PIPE BEDDING DETAILS. TRENCH BOTTOM SHALL BE STABLE IN HIGH GROUNDWATER AREAS. A PIPE FOUNDATION SHALL BE USED IN AREAS OF ROCK EXCAVATION. STORM SEWERS MAY BE PLACED PRIOR TO PLACING FILL.
5. UNDERDRAINS MAY BE ADDED, IF DETERMINED NECESSARY IN THE FIELD, AFTER SUBGRADE IS ROUGH GRADED.
6. ELECTRIC, AND TELEPHONE SERVICES SHALL BE INSTALLED PER LOCAL ELECTRIC AND TELEPHONE REQUIREMENTS.
7. CONTRACTOR TO PROVIDE SLEEVES UNDER FOOTINGS FOR UTILITY CONNECTIONS.
8. THE CONTRACTOR SHALL ARRANGE AND COORDINATE WITH UTILITY COMPANIES AND THE TOWN OF NEW WINDSOR FOR WORK TO BE PERFORMED BY UTILITY COMPANIES OR BY THE TOWN OF NEW WINDSOR. THE CONTRACTOR SHALL PAY ALL UTILITY FEES AND REPAIR PAVEMENTS AS NECESSARY.
9. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN MAINTENANCE OF TRAFFIC DEVICES FOR PROTECTION OF VEHICLES AND PEDESTRIANS CONSISTING OF DRUMS, BARRIERS, SIGNS, LIGHTS, FENCES AND UNIFORMED TRAFFIC MEN AS REQUIRED, ORDERED BY THE OWNER'S REPRESENTATIVE OR REQUIRED BY THE LOCAL GOVERNING AUTHORITIES.

ALL EXISTING UTILITIES HAVE BEEN TAKEN FROM "UNITED STATES MILITARY ACADEMY" STEWART FIELD MAPS, LAST UPDATED 1942. ALL EXISTING UTILITIES SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO THE START OF ANY CONSTRUCTION.



TOWN OF NEW WINDSOR
APPROVAL GRANTED BY PLANNING BOARD
STAMP OF APPROVAL

SEP 26 2002
James P. ...



80 Washington Street, Suite 310
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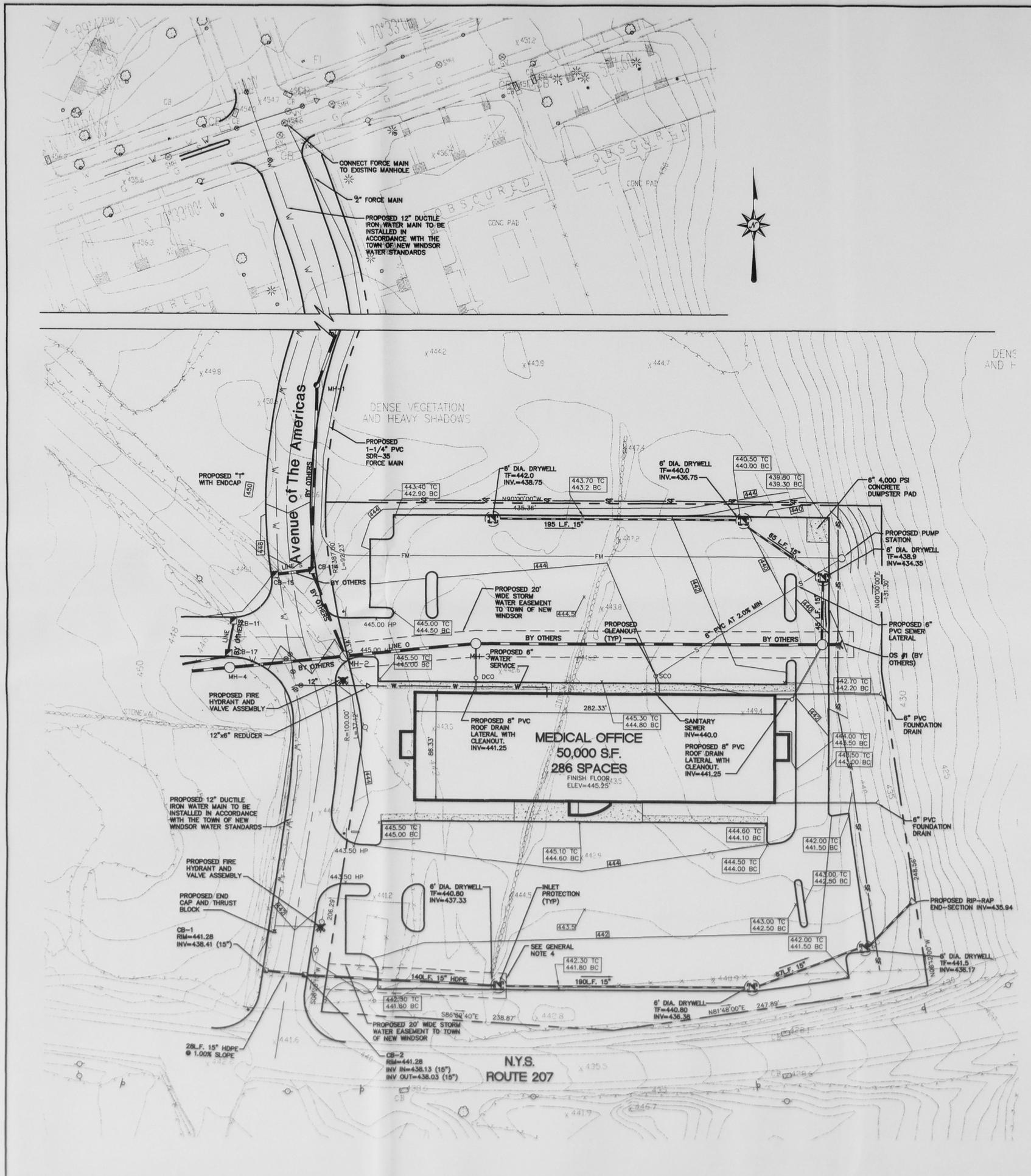
GRADING PLAN
 PROPOSED MEDICAL OFFICE BUILDING
 NEW YORK INTERNATIONAL PLAZA
 TOWN OF NEW WINDSOR

REVISONS	No.	Date	REVISION
	1.	01/05/01	REVISED PER COMMENTS
	2.	01/22/01	REVISED PER COMMENTS
	3.	06/21/01	REVISED BUILDING, SITE UTILITIES
	4.	07/23/01	REVISE PER CLIENT COMMENTS
	5.	08/15/01	REVISE PER CLIENT COMMENTS
	6.	11/15/01	REVISE PER CLIENT COMMENTS

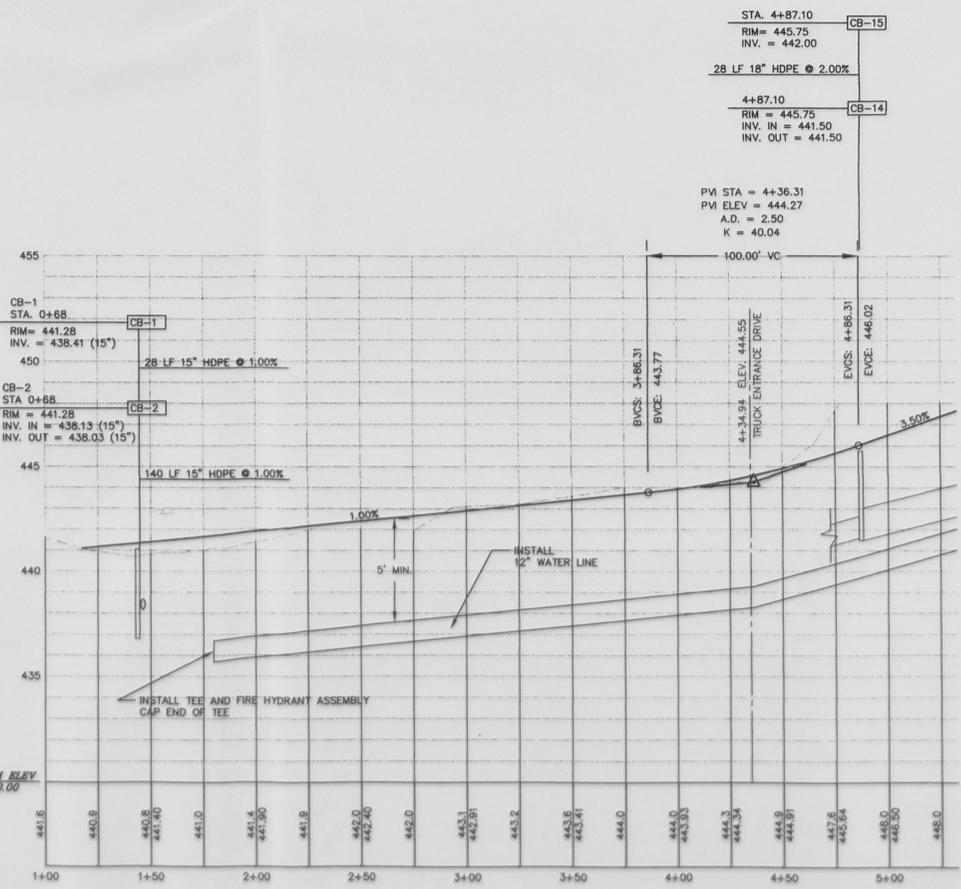
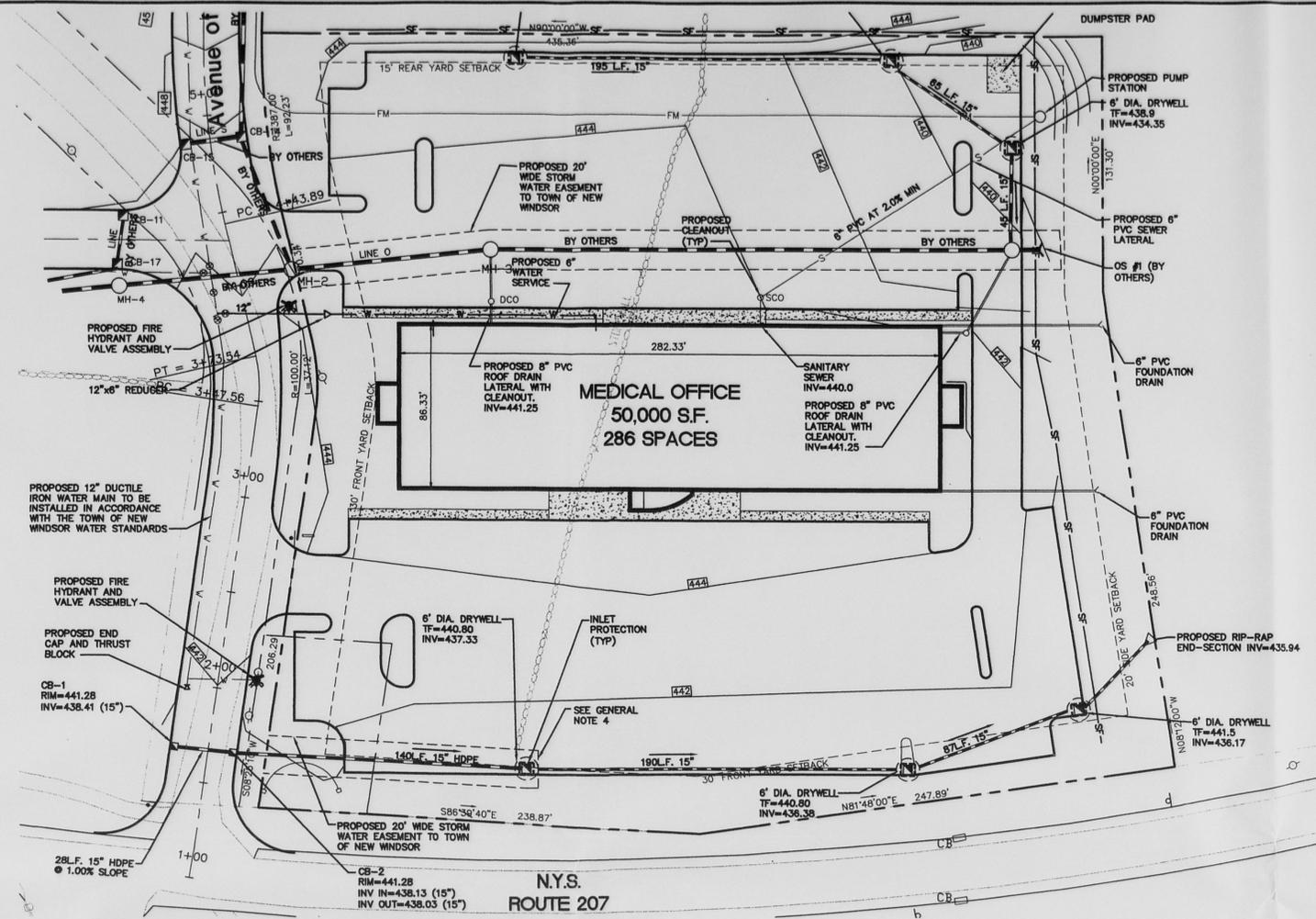
Designed T.J.O.
Draw S.M.C.
Checked T.J.O.
Approved R.A.L.
Scale 1" = 40'
Project No. 00N395
Date 12/08/00
CAD File GUN39501

Title
GRADING PLAN

Sheet No.
GU-1



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PLAN AND PROFILE
PROPOSED MEDICAL OFFICE BUILDING
NEW YORK INTERNATIONAL PLAZA
TOWN OF NEW WINDSOR

REV. NO.	DATE	DESC.
1.	07/05/01	REVISED PER COMMENTS
2.	07/22/01	REVISED PER COMMENTS
3.	06/12/01	AMENDED BUILDING
4.	07/23/01	REVISED PER CLIENT COMMENTS
5.	08/15/01	REVISED PER CLIENT COMMENTS
6.	11/15/01	REVISED PER CLIENT COMMENTS

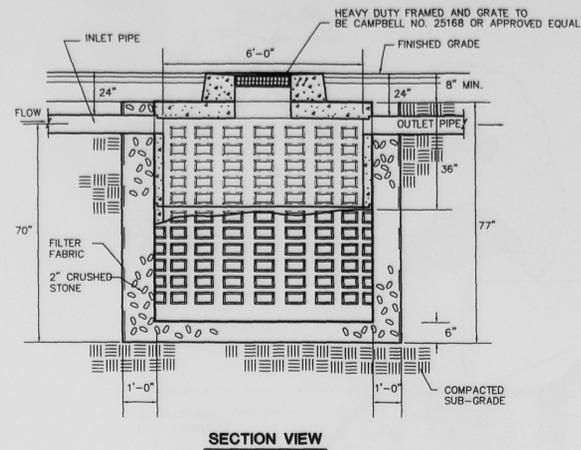
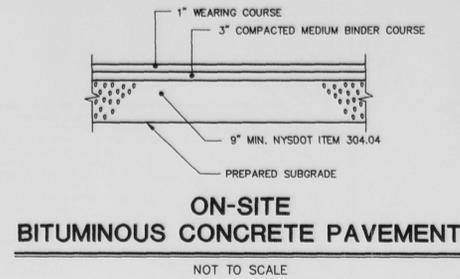
Designed	T.J.O.
Drawn	S.M.C.
Checked	T.J.O.
Approved	R.A.L.
Scale	1" = 40'
Project No.	00N395
Date	12/08/00
CAD File	SPN39501

MAP REFERENCE
BASE MAP PROPERTY LINES TAKEN FROM MAP ENTITLED "REAL PROPERTY LAND ACQUISITION SURVEYS FOR TOWN OF NEW WINDSOR" DATED OCTOBER 1, 1999, AS PREPARED BY EDWARD T. ZABACK, LICENSED LAND SURVEYOR.

TOWN OF NEW WINDSOR
PLANNING BOARD
STAMP OF APPROVAL
SEP 26 2002
James R. [Signature]
James R. [Signature]

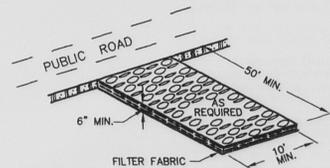


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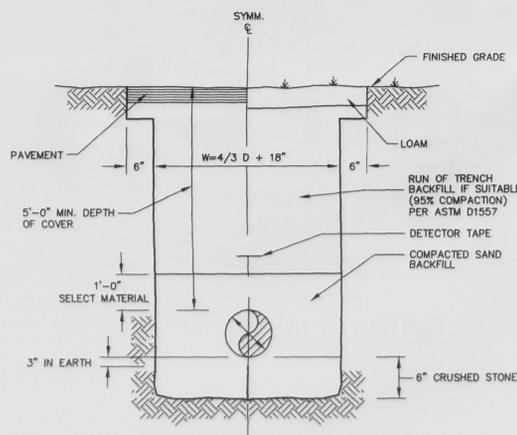
- SPECS.**
1. CONCRETE MIN. STRENGTH - 4,000 PSI @ 28 DAYS
 2. REINFORCING AS PER ASTM SPEC. A-15-57T
 3. CAPACITY APPROX. 1500 GAL. AT 6" DEPTH
 4. COVER AVAILABLE 6" THICK
 5. LOAD RATING SHALL BE HT-20

PRECAST DRY WELL FOR PARKING AREA SURFACE DRAINAGE
N.T.S.

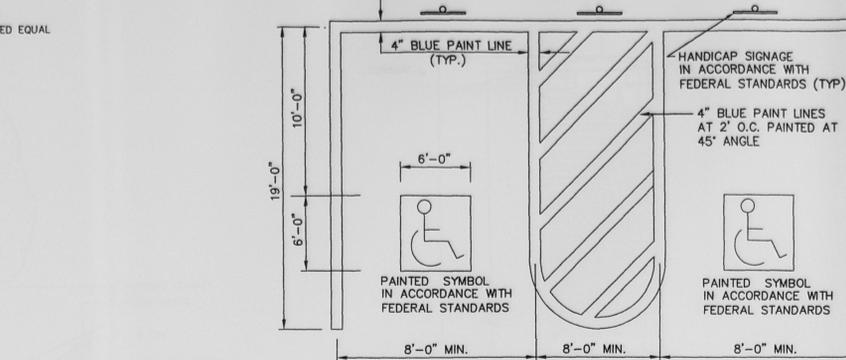
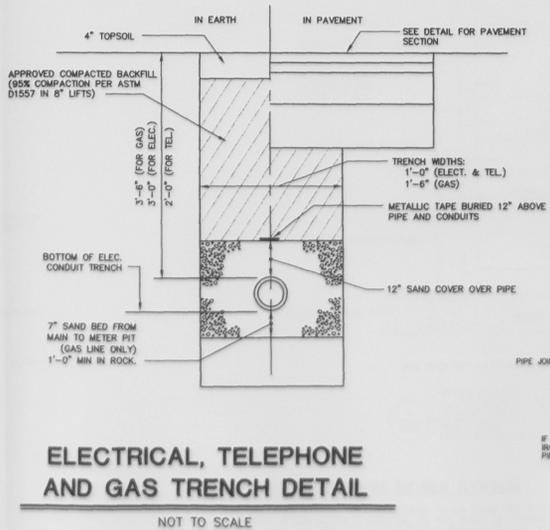
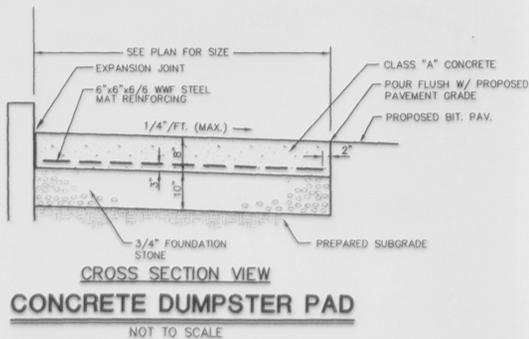


- NOTES:**
1. STONE SIZE - USE STONE, OR RECYCLED CONCRETE EQUIVALENT AS NECESSARY FOR CONSTRUCTION VEHICLE LOADS.
 2. LENGTH AS REQUIRED, BUT NOT LESS THAN 50'.
 3. THICKNESS - NOT LESS THAN 6".
 4. WIDTH - 10' MIN, BUT NOTE LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
 5. FILTER CLOTH - SHALL BE PLACED UNDER STONE AS NEEDED.
 6. MAINTENANCE - THE PAD SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OF FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ON PUBLIC RIGHT-OF-WAY MUST BE REMOVED IMMEDIATELY.
 7. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN FALL.

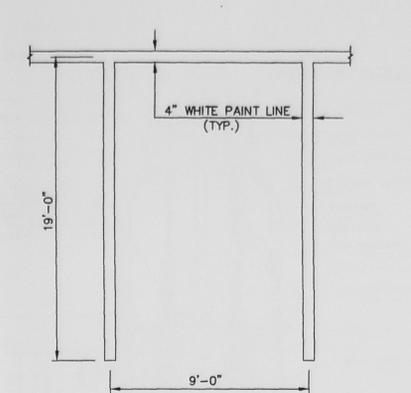
ANTI-TRACKING PAD
NOT TO SCALE



TYPICAL WATER/SEWER SERVICE TRENCH DETAIL
NOT TO SCALE



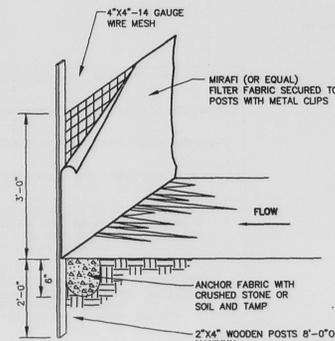
- NOTES:**
1. SEE SITE PLAN FOR ACCESSIBLE SPACE LOCATION AND DIMENSIONS.
 2. PROVIDE 2 COATS OF PAINT ON ALL SURFACES.



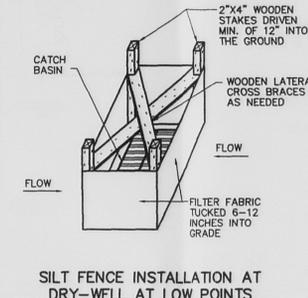
- NOTE:**
1. PROVIDE 2 COATS OF PAINT ON ALL SURFACES.
 2. SEE PLAN FOR ACTUAL SPACE LOCATION AND DIMENSIONS.

TYPICAL ACCESSIBLE PARKING SPACE DETAIL
NOT TO SCALE

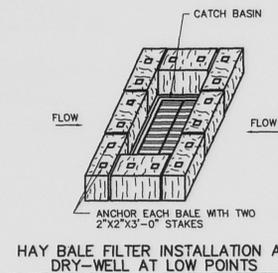
TYPICAL PARKING SPACE DETAIL
NOT TO SCALE



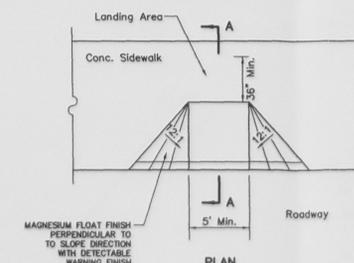
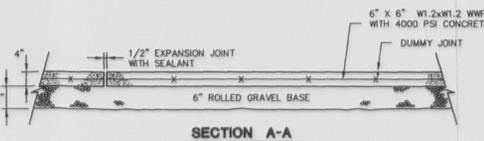
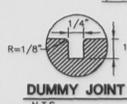
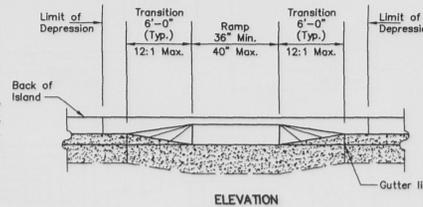
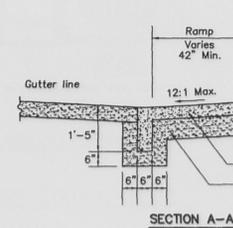
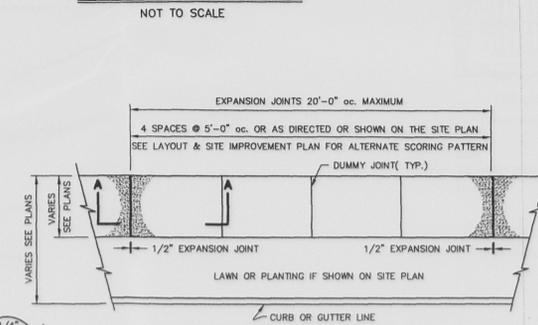
HAY BALE DETAIL
NOT TO SCALE



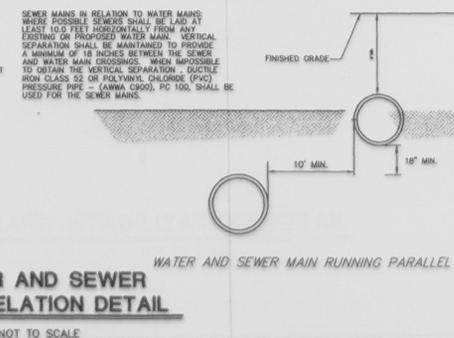
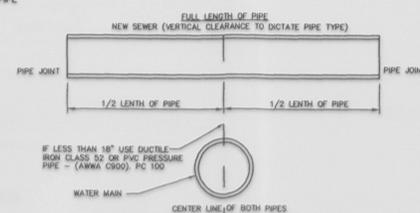
DRY-WELL EROSION CONTROL
NOT TO SCALE



SILTATION FENCE
NOT TO SCALE



HANDICAP RAMP
NOT TO SCALE



TOWN OF NEW WINDSOR PLANNING BOARD STAMP OF APPROVAL

REVISIONS

No.	Date	Desc.
1.	07/05/01	REVISED PER COMMENTS
2.	07/22/01	REVISED PER COMMENTS
3.	07/25/01	REVISED PER CLIENT COMMENTS

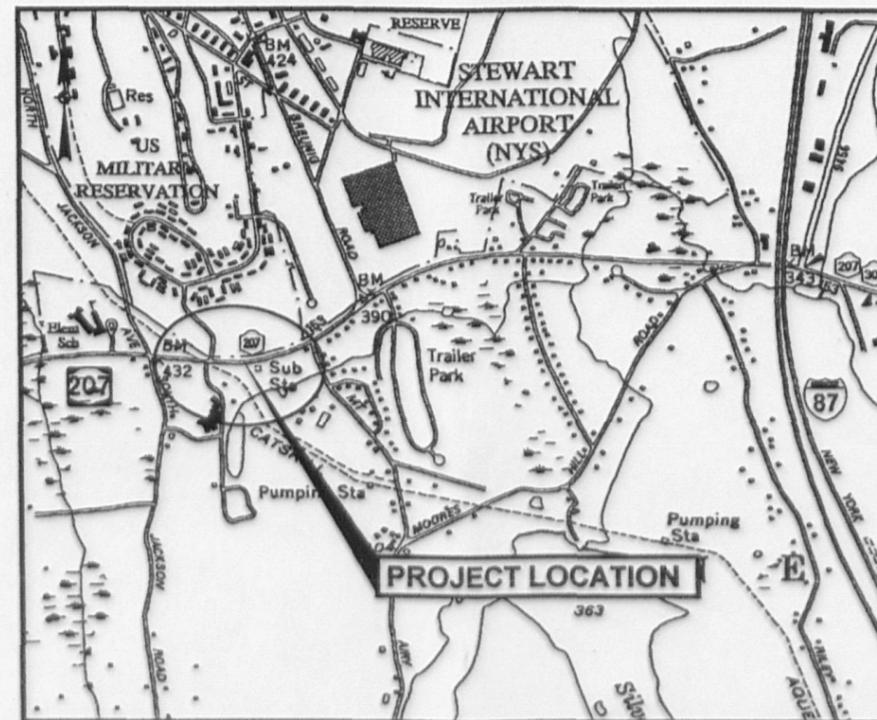
Designed T.J.O.
Drawn T.J.O.
Checked T.J.O.
Approved R.A.L.
Scale AS NOTED
Project No. 00N395
Date 12/08/00
CAD File DNN39501

Title
DETAIL SHEET
Sheet No.
DN-1

OFFSITE HIGHWAY IMPROVEMENTS NYS ROUTE 207 / AVENUE OF THE AMERICAS

FIRST COLUMBIA, LLC
26 CENTRY HILL DRIVE
LATHAM, NY 12110

CME PROJECT #02-091



TOWN OF NEW WINDSOR
ORANGE COUNTY
STATE OF NEW YORK

ALL WORK CONTEMPLATED UNDER THIS CONTRACT IS TO BE COVERED BY AND IN CONFORMITY WITH THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS OF JANUARY 2, 2002. EXCEPT AS MODIFIED ON THESE PLANS AND IN THE ITEMIZED PROPOSAL.

CHANGES MADE TO THESE PLANS SINCE COMPLETION BY THE CONSULTING ENGINEER MAY BE DETERMINED BY COMPARISON WITH SUCH PREFINAL PLANS FILED AT THE TOWN OFFICE OR THOSE FILED AT THE OFFICE OF THE CONSULTING ENGINEER.

PREPARED AND RECOMMENDED BY:

**PROGRESS PRINTS
NOT FOR
CONSTRUCTION**

JOHN M. TOZZI, PE
L.I.C. NO. 068014

NYS DOT STANDARD SHEETS

M203-4, M204-1, M403-1, M604-8, 609-2R1, M645-50 THRU
M645-56, M655-10R2, M655-11R1, M680-2, M680-3, M680-4,
M680-6, M680-9, M680-12, M680-13R2, M680-15R1, M680-16,
M685-1, M685-2R1, M685-5R1

95% PLANS



SEPTEMBER 23, 2002

SHEET NO.	INDEX DESCRIPTION	DRAWING NO.
1	TITLE	-
2	LEGEND & GENERAL NOTES	L1
3	TYPICAL SECTIONS	TS1
4	MAINTENANCE AND PROTECTION OF TRAFFIC	MPT1
5	DETAILS SHEET	D1
6-8	GENERAL PLANS	P1 TO P3
9	TRAFFIC SIGNAL NOTES	TSN1
10-12	TRAFFIC SIGNAL DETAILS	TS01 TO TS03
13	TRAFFIC SIGNAL PLAN	TSP1

TYPICAL SECTIONS

PROPOSED MEDICAL OFFICE BUILDING
NEW YORK INTERNATIONAL PLAZA
TOWN OF NEW WINDSOR

CMEC
CREIGHTON MAWING ENGINEERING, LLP
4 AUTOMATION LANE, ALBANY, NY 12205
FIRST COLUMBIA LLC
26 CENTURY HILL DRIVE
LATHAM NY 12110

NO.	REVISION	DATE	BY

JOHN M. TOZZI, PE

PROGRESS
PRINT
NOT FOR
CONSTRUCTION

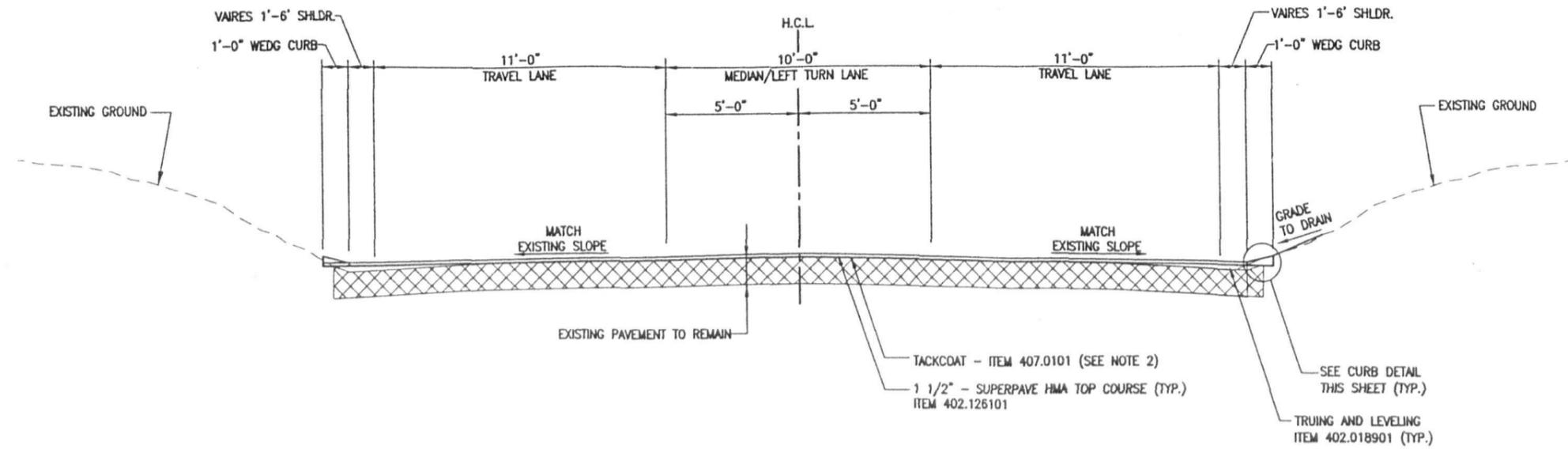
LC. NO. 068014

DESIGN: J.W.P.
DRAWN: K.H.D.
CHECKED: J.M.T.
FILE: TS1.DWG
SCALE:
DATE: SEPT. 23, 2002

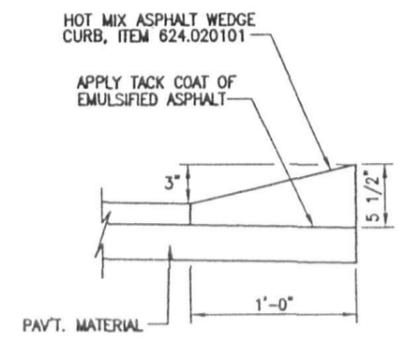
PROJ. NO. 02-091

TS1

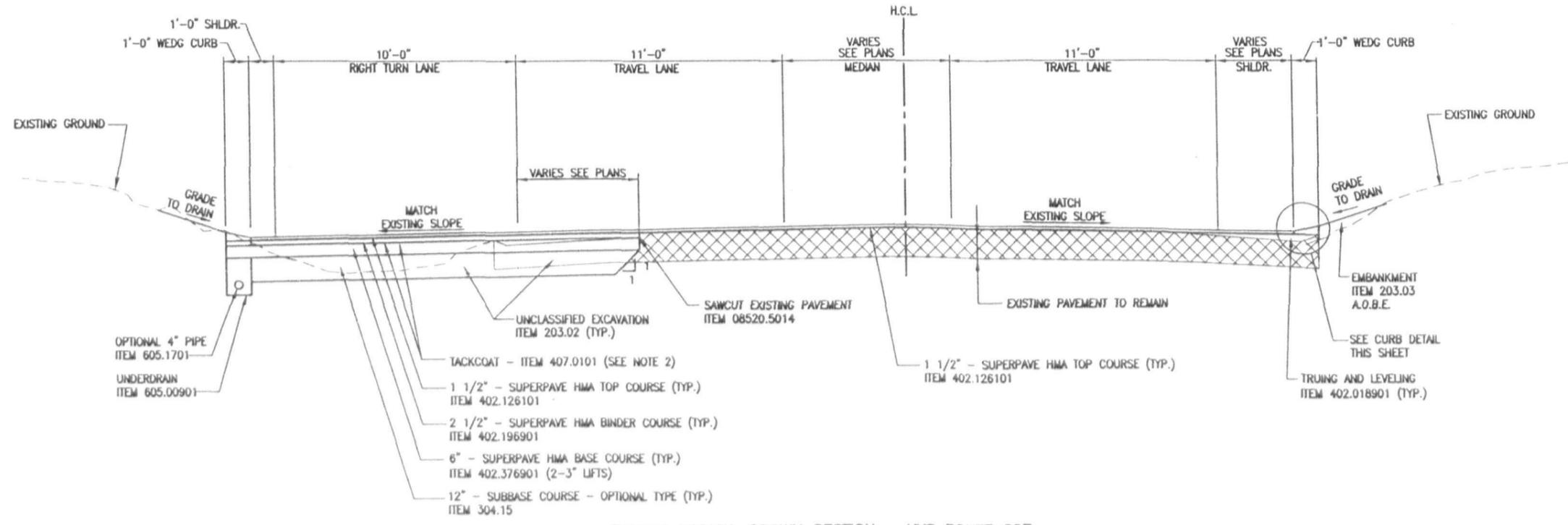
SHEET 3 OF 13



TYPICAL NORMAL CROWN SECTION - NYS ROUTE 207
NOT TO SCALE



ASPHALT WEDGE CURB DETAIL
NOT TO SCALE



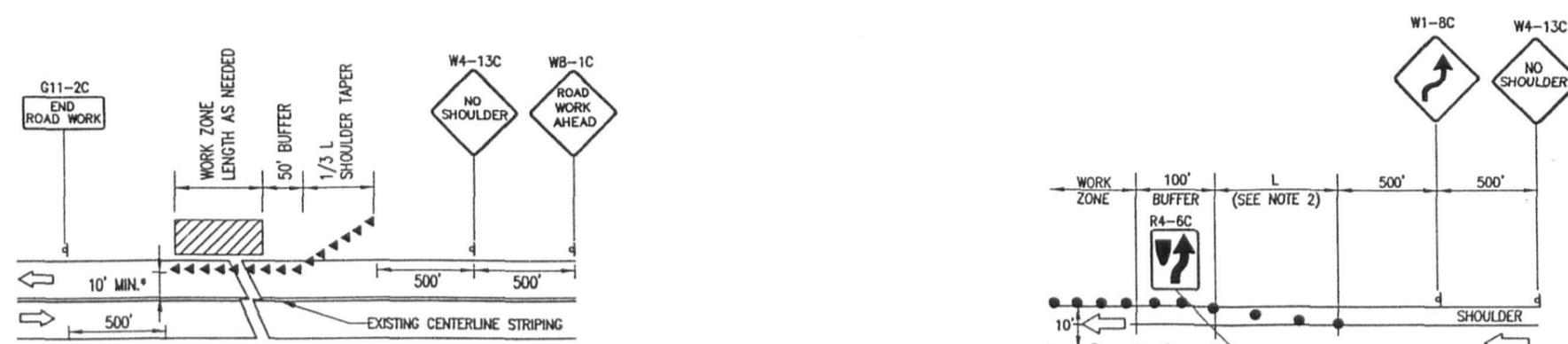
TYPICAL NORMAL CROWN SECTION - NYS ROUTE 207
STA. 17+29.00 TO STA. 18+29.00
NOT TO SCALE

ITEM NO.	DESCRIPTION	UNIT	ITEM NO.	DESCRIPTION	UNIT
203.02	UNCLASSIFIED EXCAVATION AND DISPOSAL	C.Y.	407.0101	TACK COAT	GAL.
203.03	EMBANKMENT IN PLACE	C.Y.	08520.5014	SAWCUT ASPHALT PAV'T, CONC. PAV'T, ASPHALT CONC. OVERLAY ON CONC. PAV'T	LF.
304.15	SUBBASE COURSE - OPTIONAL TYPE	C.Y.	605.1701	OPTIONAL UNDERDRAIN PIPE, 4" DIAMETER	LF.
402.018901	TRUE & LEVELING F9, SUPERPAVE HMA, 80 SERIES	TON			
402.126101	12.5mm, F1 SUPERPAVE HOT MIX ASPHALT, 60 SERIES COMPACTION	TON			
402.196901	19mm, F9 SUPERPAVE HOT MIX ASPHALT, 60 SERIES COMPACTION	TON			
402.376901	37.5mm, F9 SUPERPAVE HOT MIX ASPHALT, 60 SERIES COMPACTION	TON			

NOTES:

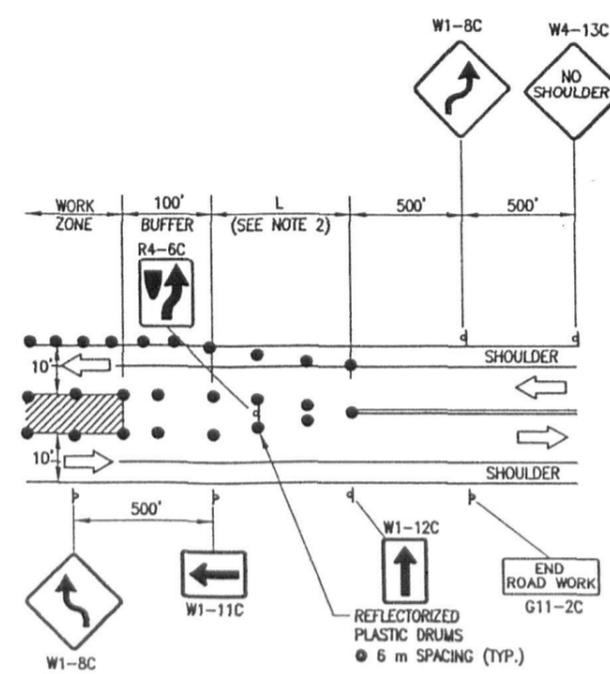
1. THE PERFORMANCE GRADED BINDER USED IN THE PRODUCTION OF SUPERPAVE HOT MIX ASPHALT MIXTURES SHALL BE A PG [76-22] ([82-22] AS A SUBSTITUTE GRADE) AS DEFINED BY AASHTO PROVISIONAL STANDARD MP1 - STANDARD SPECIFICATION FOR PERFORMANCE GRADED ASPHALT BINDER. THE MIXTURE DESIGNS MUST BE DEVELOPED IN ACCORDANCE WITH CRITERIA SPECIFIED IN THE SUPERPAVE HOT MIX ASPHALT ITEMS THAT ARE APPROPRIATE FOR AN "ESTIMATED TRAFFIC" LEVEL OF [<3] "MILLION 80 KN. ESALS". UNDER NO CIRCUMSTANCES SHALL THE PERFORMANCE GRADED BINDER CONTENT IN THE HOT MIX ASPHALT BE LESS THAN 5.6% FOR A 9.5mm DESIGN, 5.0% FOR A 12.5mm DESIGN, 4.3% FOR A 19.0mm DESIGN, 4.0% FOR A 25mm, OR 3.5% FOR A 37.5mm DESIGN.
2. FIELD CONDITIONS MAY REQUIRE FLATTER SLOPES THAN THOSE SHOWN TO PROVIDE A SMOOTHER TRANSITION BETWEEN PROPOSED AND EXISTING SIDE SLOPES A.O.B.E.
3. TACK COAT SHALL BE APPLIED TO ALL SAWCUTS, EXISTING SURFACES, AND BETWEEN ALL HMA LIFTS.

I:\Projects\02-091\02-091\02-091\02-091.dwg 8/23/2002 3:27:00 PM KARL DETROCK, CME

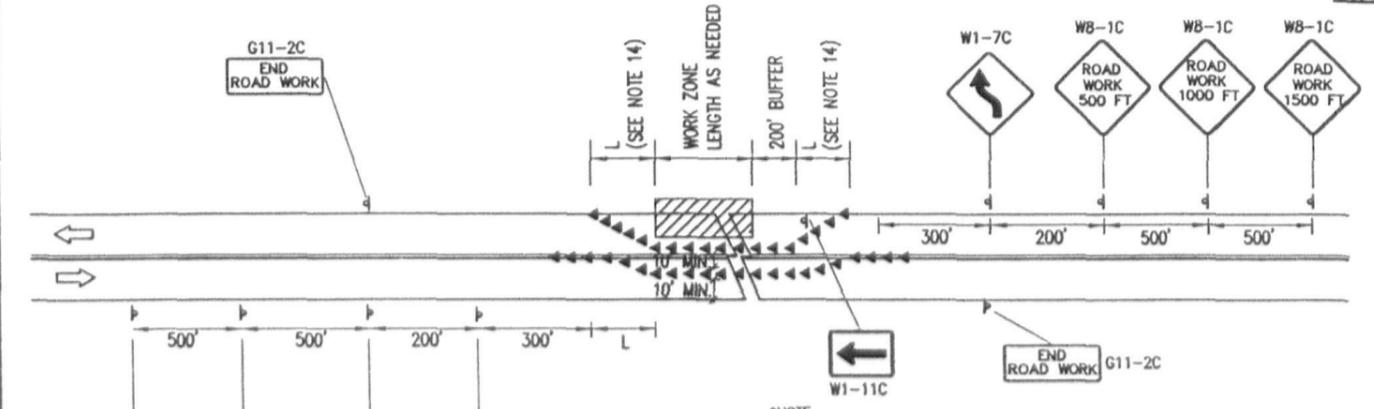


WORK ZONE SHOULDER CLOSURE
NOT TO SCALE

*NOTE
TWO-WAY TRAFFIC SHALL BE MAINTAINED UNLESS APPROVED BY NYS DOT. A MINIMUM 10' TRAVEL LANE IN EACH DIRECTION IS TO BE PROVIDED DURING THE CONSTRUCTION OF HIGHWAY IMPROVEMENTS. IF THE 10' TRAVEL LANE CAN NOT BE MAINTAINED USING THE EXISTING CENTERLINE STRIPING, THEN THE WORK ZONE SHALL BE ADEQUATELY DELINEATED AS PER THE TWO-WAY TRAFFIC TAPER SHOWN BELOW.

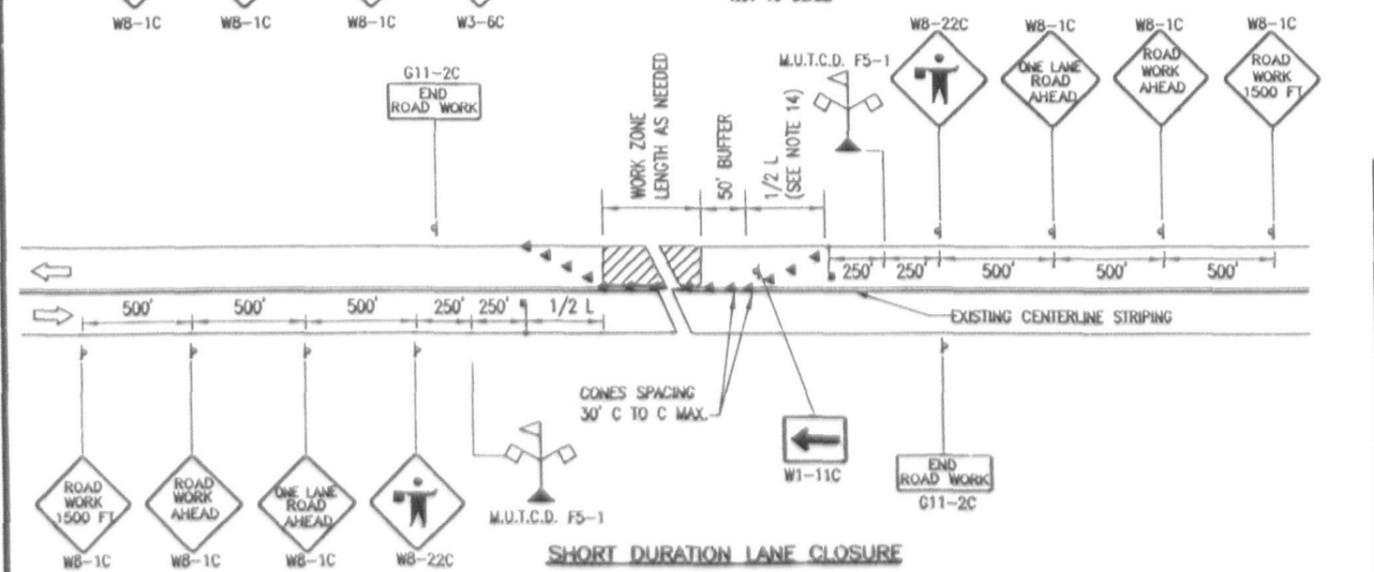


TYPICAL TRAFFIC SPLIT DETAIL
(2-LANE ROADWAY)
NOT TO SCALE



TWO-WAY TRAFFIC TAPER
NOT TO SCALE

*NOTE
IF A MINIMUM 10' TRAVEL LANE IN EACH DIRECTION CAN NOT BE MAINTAINED, THEN THE WORK ZONE SHALL BE ADEQUATELY DELINEATED AS PER THE SHORT DURATION LANE CLOSURE SHOWN BELOW.



SHORT DURATION LANE CLOSURE
NOT TO SCALE

LEGEND	
	WORK AREA
	CONE
	PLASTIC DRUM DELINEATOR
	FLAGGER
	SIGN
	BARRICADE
	FLASHING ARROW BOARD
	LENGTH OF TRANSITION AS PER MUTCD
	FLAG TREE

NOTES

- MAINTENANCE AND PROTECTION OF TRAFFIC SHALL BE PROVIDED IN ACCORDANCE WITH SECTION 619 - MAINTENANCE AND PROTECTION OF TRAFFIC - OF THE NYS DOT STANDARD SPECIFICATIONS, THE NEW YORK STATE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (NYS MUTCD) AND ANY PROVISIONS CONTAINED IN THE PLANS.
- PRIOR TO THE START OF WORK, THE CONTRACTOR MUST SUBMIT ANY PROPOSED CHANGES TO THE TRAFFIC CONTROL PLAN TO THE NYS DOT FOR APPROVAL. ANY CHANGE WHICH ALTERS THE BASIC CONCEPT OF THE PLAN MUST BE APPROVED BY THE NYS DOT.
- DIAMOND-SHAPED ADVANCE WARNING SIGNS SHALL BE USED FOR ALL ADVANCE WARNING SIGNS SHOWN IN PART 238 OF THE NYS MUTCD. COLOR REQUIREMENTS SHALL BE BLACK TEXT ON ORANGE BACKGROUND. OVERNIGHT SIGNS SHALL BE HI-INTENSITY.
- THE CORRECT SEQUENCE AND SPACING OF SIGNS, EITHER PERMANENT OR TEMPORARY MUST BE MAINTAINED AT ALL TIMES IN ACCORDANCE WITH THE NYS MUTCD UNLESS SHOWN OTHERWISE ON THE PLANS. ALL SIGNS, INCLUDING GUIDE SIGNS, SHALL INDICATE ACTUAL CONDITIONS AT ALL TIMES AND SHALL BE COVERED, MOVED, REMOVED, OR CHANGED IMMEDIATELY AS ORDERED BY THE NYS DOT.
- WORK ZONES ON OPPOSITE SIDES OF THE ROAD SHALL NOT OVERLAP. A WORK ZONE IS DEFINED AS THAT AREA IN WHICH TRAFFIC IS RESTRICTED BECAUSE OF CONSTRUCTION ACTIVITIES, OR THAT AREA WHICH INVOLVES A DROP-OFF WITHIN 10 FEET OF THE EDGE OF PAVEMENT.
- NO MATERIAL IS TO BE STORED ON THE SHOULDER OR WITHIN THE CLEAR 10 FOOT ROADSIDE AREA.
- CONSTRUCTION EQUIPMENT SHALL BE REMOVED FROM THE CLEAR 10 FOOT ROADSIDE AREA OF ALL HIGHWAY PAVEMENT DURING THE HOURS THAT THE CONTRACTOR IS NOT WORKING. THIS REQUIREMENT SHALL NOT BE LIMITED TO THE CONTRACT LIMITS.
- PRIVATE VEHICLES OWNED BY THE CONTRACTOR OR HIS WORKERS SHALL NOT BE PARKED ON THE PAVEMENT OR THE SHOULDERS WITHIN THE CONTRACT LIMITS, OR ANY OTHER LOCATION CONSIDERED BY THE NYS DOT TO BE A HAZARD.
- THE TRAFFIC MAINTENANCE SCHEMES SHOWN HERE AND IN SECTION 300 OF THE NYS MUTCD DESCRIBE THE MINIMAL METHODS AND CONTROL DEVICES NECESSARY. THE NYS DOT MAY ORDER ADDITIONAL DEVICES AND/OR METHODS TO MEET FIELD CONDITIONS. NO ADDITIONAL PAYMENT WILL BE MADE FOR ADDITIONAL DEVICES ORDERED.
- THE CONTRACTOR SHALL PROVIDE AND MAINTAIN SAFE AND ADEQUATE INGRESS AND EGRESS TO AND FROM INTERSECTING HIGHWAYS, HOMES, AND COMMERCIAL ESTABLISHMENTS AT ALL TIMES TO THE SATISFACTION OF THE NYS DOT. THIS WORK SHALL BE PERFORMED IN ACCORDANCE WITH ITEM 619.01 SECTION 619-3.01(F).
- REFLECTORIZED PLASTIC DRUM DELINEATORS SHALL BE USED AT HAZARDOUS LOCATIONS DETERMINED BY THE NYS DOT. DELINEATORS SHALL REMAIN IN PLACE UNTIL SATISFACTORY PROTECTION IS PROVIDED. DELINEATORS SHALL BE SPACED AT A DISTANCE NOT TO EXCEED 25 FEET, OR AS DIRECTED BY THE NYS DOT.
- IF THE NYS DOT NOTIFIES THE CONTRACTOR OR HIS SUPERINTENDENT OF ANY HAZARDOUS CONSTRUCTION PRACTICES, ALL OPERATIONS IN THAT AREA SHALL BE DISCONTINUED AND IMMEDIATE REMEDIAL ACTION SHALL BE TAKEN TO THE SATISFACTION OF THE NYS DOT BEFORE WORK IS RESUMED.
- ALL SIGNING FOR MAINTENANCE AND PROTECTION OF TRAFFIC SHALL BE COORDINATED WITH OTHER WORK ZONES IN THE GENERAL VICINITY.
- REFER TO M.U.T.C.D TABLE 262-2 FOR APPROPRIATE TAPER LIMIT.
- PRIOR TO ANY REDUCTION IN LANE WIDTH(S), THE CONTRACTOR SHALL PROVIDE THE ENGINEER TWENTY-ONE (21) DAYS NOTICE SO HE/SHE MAY CONTACT THE REGIONAL PERMIT ENGINEER OF THE WIDTH RESTRICTIONS IN A TIMELY MANNER. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING IMMEDIATELY UPON THE REMOVAL OF THE LANE WIDTH RESTRICTION SO THE ENGINEER MAY NOTIFY THE REGIONAL PERMIT ENGINEER.
- THERE SHALL BE NO TEMPORARY LANE CLOSURES BETWEEN 7AM - 9AM AND 3PM - 6PM, MONDAY THROUGH FRIDAY.
- THERE SHALL BE NO TEMPORARY LANE CLOSURES ON THE FOLLOWING HOLIDAY DATES:

2002	2003
AUG. 31-SEPT. 2	JAN. 1-2
OCT. 12-14	MAY 24-26
NOV. 27-DEC. 1	JULY 3-6
DEC. 20-31	AUG. 30-SEPT. 1
	OCT. 11-13
	NOV. 26-30
	DEC. 19-31
- STEEL PLATES SHALL BE PINNED TO THE PAVEMENT.

MAINTENANCE AND PROTECTION OF TRAFFIC
 PROPOSED MEDICAL OFFICE BUILDING
 NEW YORK INTERNATIONAL PLAZA
 TOWN OF NEW WINDSOR

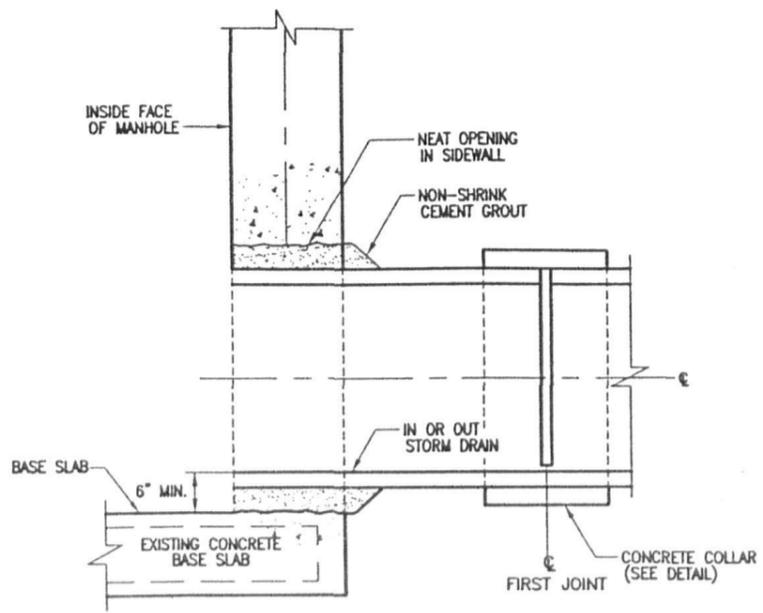
CMEC
 CREIGHTON MANNING ENGINEERING, LLP
 4 AUTUMN LANE, ALBANY, NY 12205
 FIRST COLUMBIA LLC
 26 CENTURY HILL DRIVE
 LATHAM NY 12110

NO.	REVISION	DATE	BY

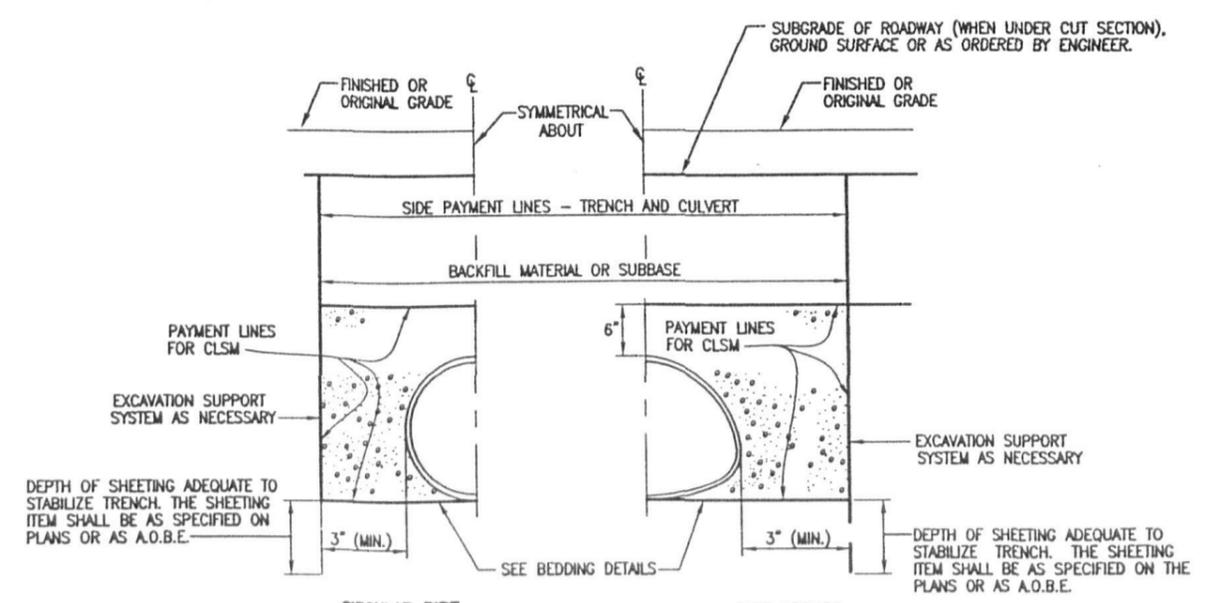
JOHN M. TOZZI, PE
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NOT FOR CONSTRUCTION
 LIC. NO. 068014

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DRAWN:	K.H.D.
CHECKED:	J.M.T.
FILE:	MPI-1.DWG
SCALE:	AS SHOWN
DATE:	SEPT. 23, 2002

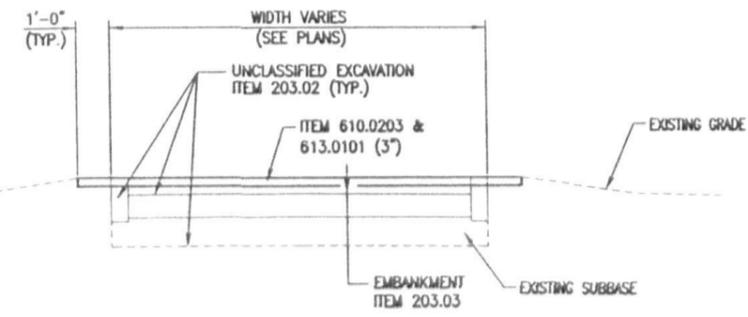
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MPT1
 SHEET 4 OF 13



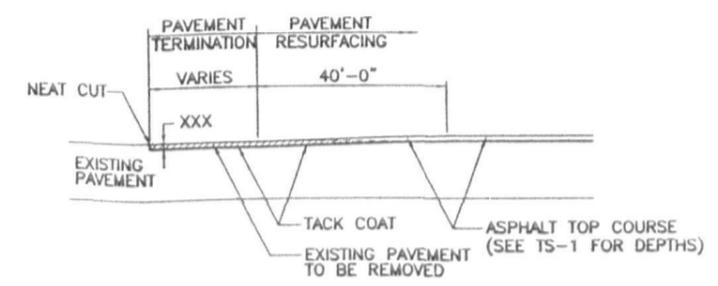
CONNECT TO EXISTING STORM PIPE DETAIL
ITEM 604.070802
NOT TO SCALE



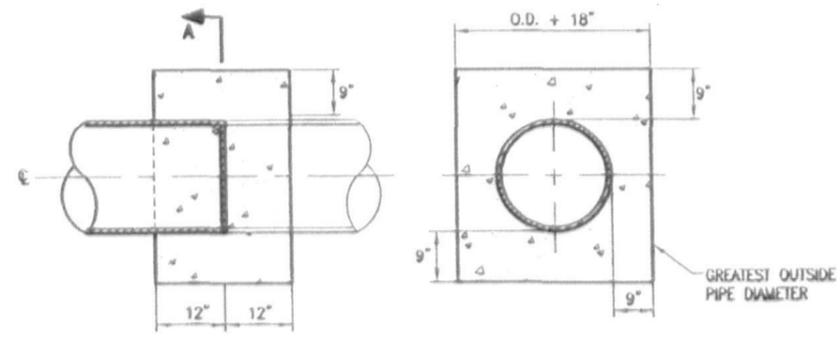
INSTALLATION METHOD A
PIPES INSTALLED BELOW GROUND SURFACE
NOT TO SCALE



TYPICAL DRIVEWAY REMOVAL
NOT TO SCALE

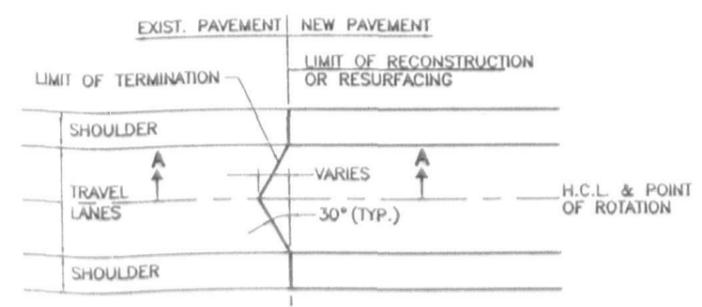


SECTION A-A
AT RESURFACING LIMIT



CONCRETE COLLAR
NOT TO SCALE

NOTE:
ALL WORK NECESSARY TO CONSTRUCT THE CONCRETE COLLAR WITH CLASS A CONCRETE WILL BE INCLUDED IN PRICE BID FOR VARIOUS DRAINAGE ITEMS.



PLAN
PAVEMENT TERMINATION DETAIL
NOT TO SCALE

MISCELLANEOUS DETAILS

PROPOSED MEDICAL OFFICE BUILDING
NEW YORK INTERNATIONAL PLAZA
TOWN OF NEW WINDSOR

CMEC
CREIGHTON MANNING ENGINEERING, LLP
4 AUTOMATION LANE, ALBANY, NY 12205

FIRST COLUMBIA LLC
26 CENTRY HILL DRIVE
LATHAM NY 12110

NO.	REVISION	DATE	BY

JOHN M. TOZZI, PE

PROGRESS PRINT
NOT FOR CONSTRUCTION

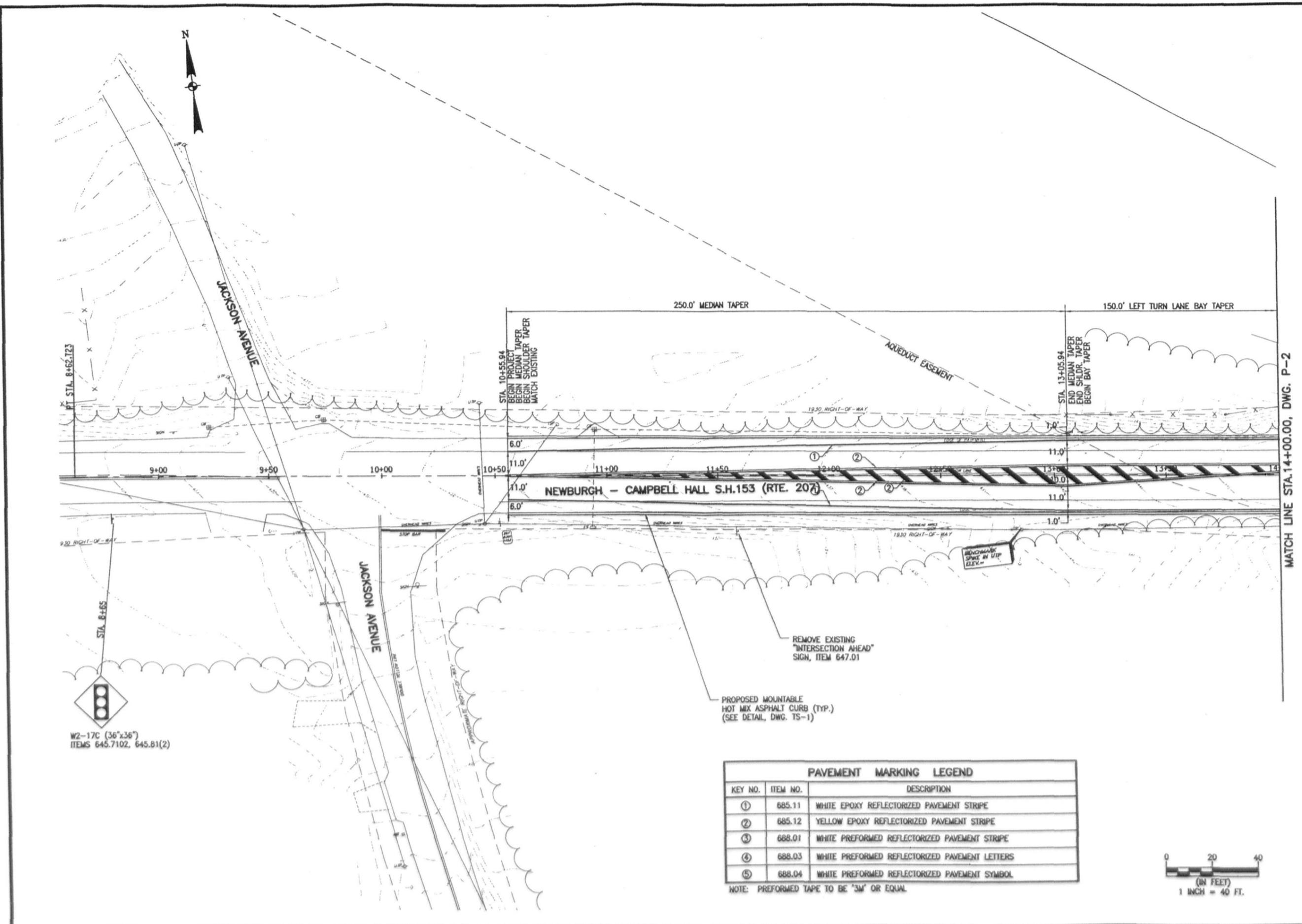
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DESIGN:	J.W.P.
DRAWN:	K.H.D.
CHECKED:	J.M.T.
FILE:	D-1.DWG
SCALE:	AS SHOWN
DATE:	SEPT. 23, 2002

PROJ. NO. 02-091

D1

SHEET 5 OF 13



PT. STA. 8+65.123

JACKSON AVENUE

STA. 10+55.94
 BEGIN PROJECT
 BEGIN MEDIAN TAPER
 BEGIN SHOULDER TAPER
 BEGIN EXISTING
 MATCH

250.0' MEDIAN TAPER

150.0' LEFT TURN LANE BAY TAPER

AQUEDUCT EASEMENT

STA. 13+05.94
 END MEDIAN TAPER
 END SHOULDR. TAPER
 BEGIN BAY TAPER

NEWBURGH - CAMPBELL HALL S.H.153 (RTE. 207)

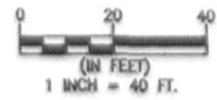
REMOVE EXISTING
 "INTERSECTION AHEAD"
 SIGN, ITEM 647.01

PROPOSED MOUNTABLE
 HOT MIX ASPHALT CURB (TYP.)
 (SEE DETAIL, DWG. TS-1)

W2-17C (36"x36")
 ITEMS 645.7102, 645.81(2)

PAVEMENT MARKING LEGEND		
KEY NO.	ITEM NO.	DESCRIPTION
①	685.11	WHITE EPOXY REFLECTORIZED PAVEMENT STRIPE
②	685.12	YELLOW EPOXY REFLECTORIZED PAVEMENT STRIPE
③	688.01	WHITE PREFORMED REFLECTORIZED PAVEMENT STRIPE
④	688.03	WHITE PREFORMED REFLECTORIZED PAVEMENT LETTERS
⑤	688.04	WHITE PREFORMED REFLECTORIZED PAVEMENT SYMBOL

NOTE: PREFORMED TAPE TO BE '3M' OR EQUAL



MATCH LINE STA. 14+00.00, DWG. P-2

CONSTRUCTION PLAN

PROPOSED MEDICAL OFFICE BUILDING
 NEW YORK INTERNATIONAL PLAZA
 TOWN OF NEW WINDSOR

CME
 CRIGHTON MANNING ENGINEERING, LLP
 4 AUTUMN LANE, ALBANY, NY 12205

FIRST COLUMBIA LLC
 28 CENTRY HILL DRIVE
 LATHAM NY 12110

NO.	REVISION	DATE	BY

JOHN M. TOZZI, PE

PROGRESS
 PRINT
 NOT FOR
 CONSTRUCTION

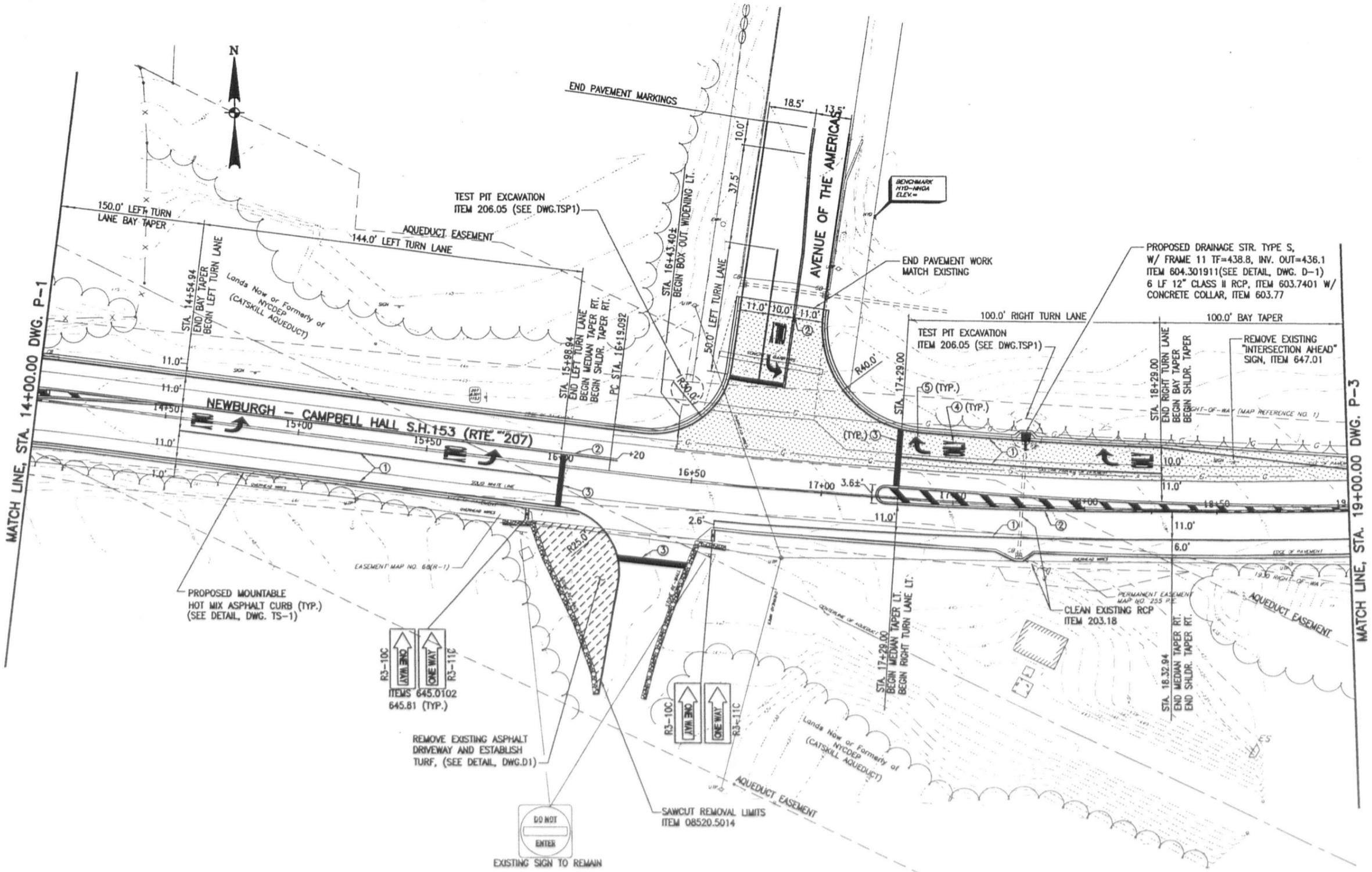
LIC. NO. 068014

DESIGN: J.W.P.
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 CHECKED: J.M.T.
 FILE: CME DESIGN.DWG
 SCALE: AS SHOWN
 DATE: SEPT. 23, 2002

PROJ. NO. 02-091

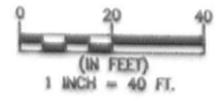
P-1

SHEET 6 OF 13



PAVEMENT MARKING LEGEND		
KEY NO.	ITEM NO.	DESCRIPTION
①	685.11	WHITE EPOXY REFLECTORIZED PAVEMENT STRIPE
②	685.12	YELLOW EPOXY REFLECTORIZED PAVEMENT STRIPE
③	688.01	WHITE PREFORMED REFLECTORIZED PAVEMENT STRIPE
④	688.03	WHITE PREFORMED REFLECTORIZED PAVEMENT LETTERS
⑤	688.04	WHITE PREFORMED REFLECTORIZED PAVEMENT SYMBOL

NOTE: PREFORMED TAPE TO BE '3M' OR EQUAL



CONSTRUCTION PLAN

PROPOSED MEDICAL OFFICE BUILDING
NEW YORK INTERNATIONAL PLAZA
TOWN OF NEW WINDSOR

CME

CREIGHTON MANNING ENGINEERING, LLP
4 AUTUMN LANE, ALBANY, NY 12205

FIRST COLUMBIA LLC
26 CENTURY HILL DRIVE
LATHAM NY 12110

NO.	REVISION	DATE	BY

JOHN M. TOZZI, PE

PROGRESS PRINT
NOT FOR CONSTRUCTION

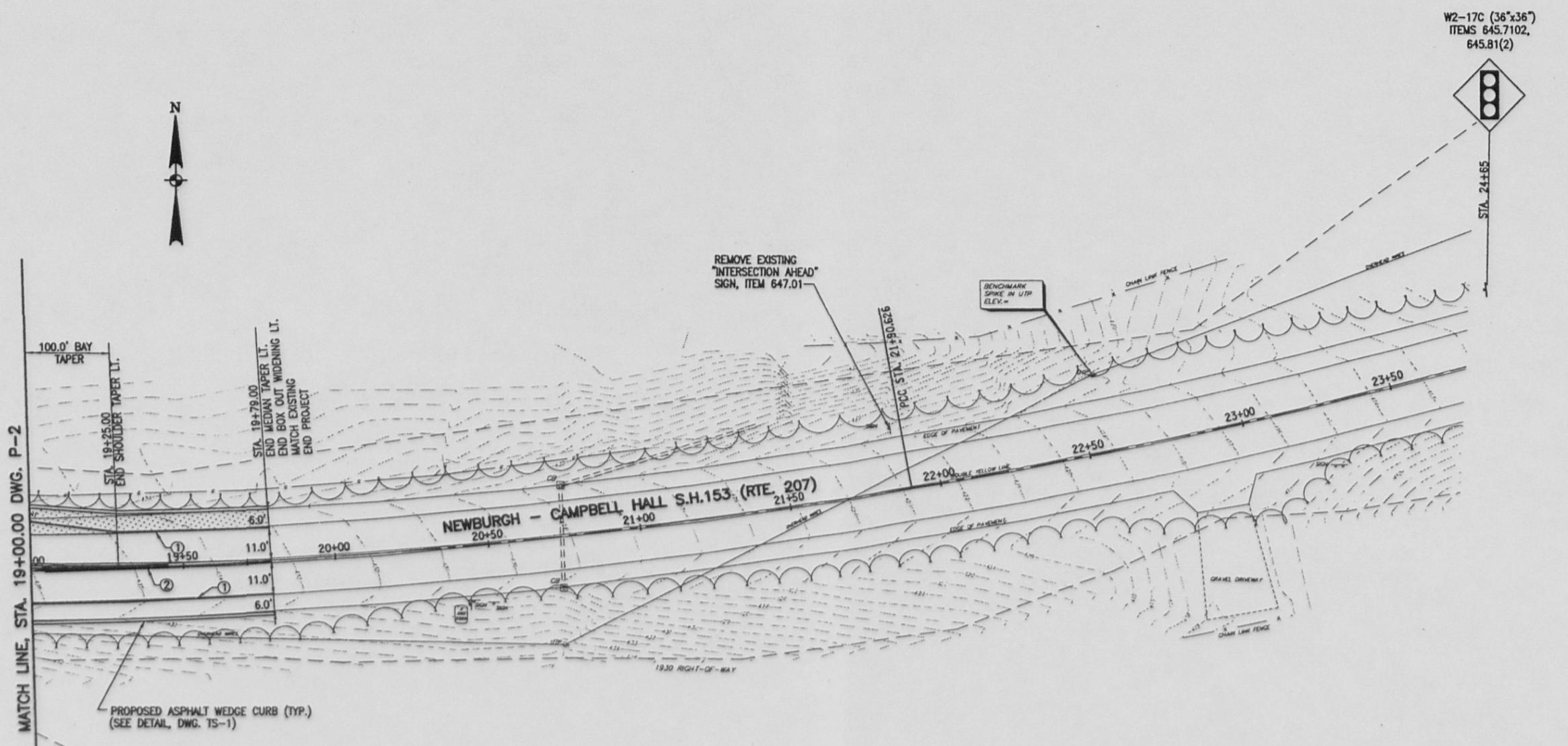
LC. NO. 068014

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DRAWN: K.H.D.
CHECKED: J.M.T.
FILE: CME_DESIGN.DWG
SCALE: AS SHOWN
DATE: SEPT. 23, 2002

PROJ. NO. 02-091

P-2

SHEET 7 OF 13



MATCH LINE, STA. 19+00.00 DWG. P-2

PROPOSED ASPHALT WEDGE CURB (TYP.)
(SEE DETAIL, DWG. TS-1)

REMOVE EXISTING
"INTERSECTION AHEAD"
SIGN, ITEM 647.01

BENCHMARK
SPIKE IN UTP
ELEV. =

W2-17C (36"x36")
ITEMS 645.7102,
645.81(2)

STA. 24+65

PAVEMENT MARKING LEGEND		
KEY NO.	ITEM NO.	DESCRIPTION
①	685.11	WHITE EPOXY REFLECTORIZED PAVEMENT STRIPE
②	685.12	YELLOW EPOXY REFLECTORIZED PAVEMENT STRIPE
③	688.01	WHITE PREFORMED REFLECTORIZED PAVEMENT STRIPE
④	688.03	WHITE PREFORMED REFLECTORIZED PAVEMENT LETTERS
⑤	688.04	WHITE PREFORMED REFLECTORIZED PAVEMENT SYMBOL

NOTE: PREFORMED TAPE TO BE "3M" OR EQUAL



CONSTRUCTION PLANS

PROPOSED MEDICAL OFFICE BUILDING
NEW YORK INTERNATIONAL PLAZA
TOWN OF NEW WINDSOR



CMEC
CREIGHTON MANNING ENGINEERING, LLP
4 AUTOMATION LANE, ALBANY, NY 12205

FIRST COLUMBIA LLC
26 CENTURY HILL DRIVE
LATHAM NY 12110

NO.	REVISION	DATE	BY

JOHN M. TOZZI, PE
**PROGRESS
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NOT FOR
CONSTRUCTION**
LIC. NO. 068014

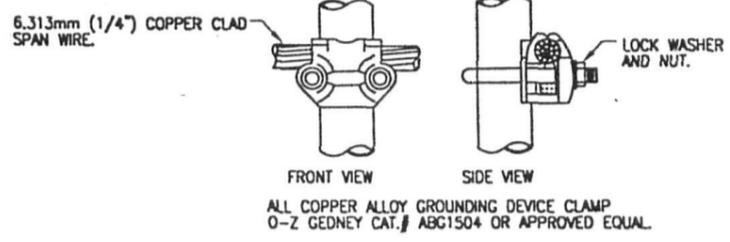
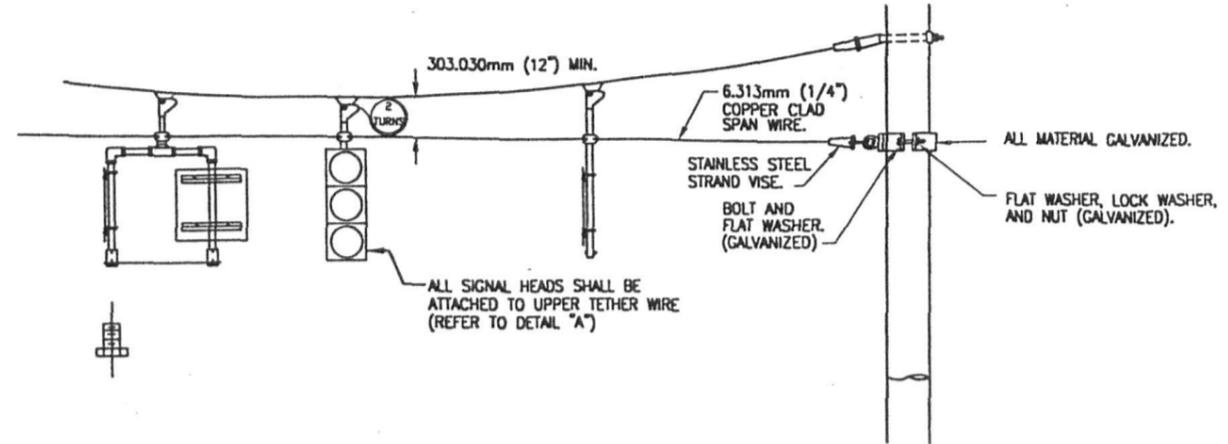
DESIGN: J.W.P.
DRAWN: K.H.D.
CHECKED: J.M.T.
FILE: CME DESIGN.DWG
SCALE: AS SHOWN
DATE: SEPT. 23, 2002

PROJ. NO. 02-091

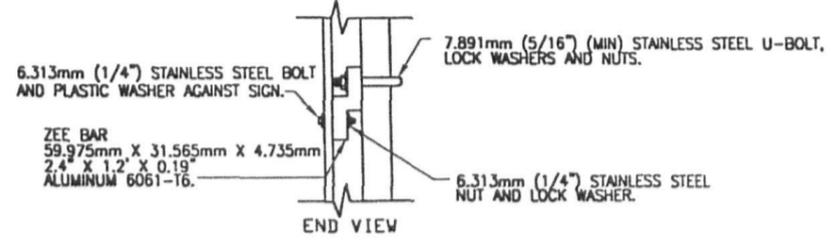
P-3

SHEET 8 OF 13

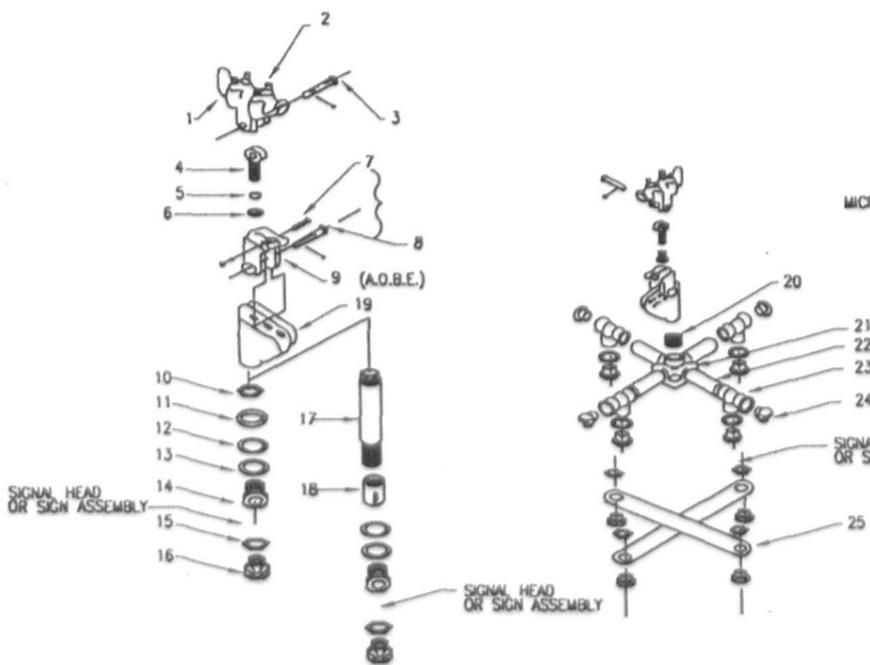
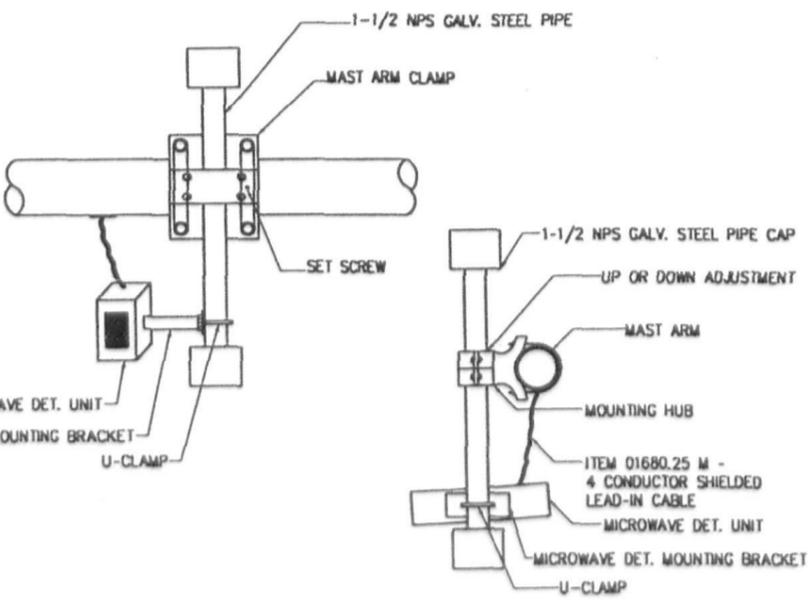
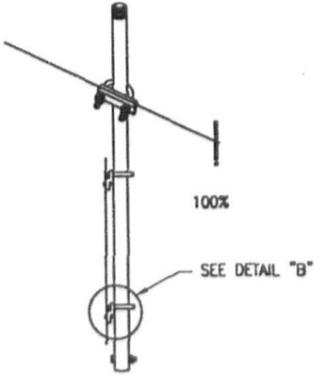
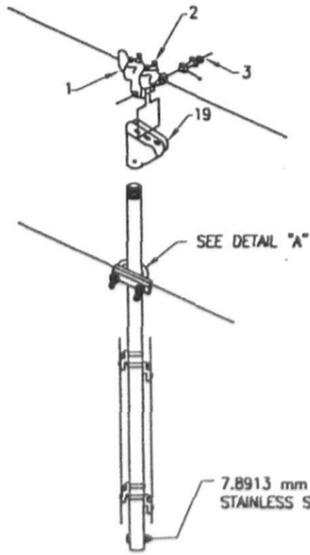
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DETAIL "A"



DETAIL "B"



BRACKET MOUNT ASSEMBLY TABLE		
ITEM	DESCRIPTION	MATERIAL & COATING
1.	SPAN WIRE CLAMP	MALLEABLE IRON, HD GALVANIZED
2.	'U' OR 'J' BOLTS W/NUTS & LOCK WASHERS	STAINLESS STEEL
3.	CLEVIS PIN W/COTTER PIN	STAINLESS STEEL
4.	12.626mm (1/2") WIDE EYEBOLT	CARBON STEEL, HD GALVANIZED
5.	JAM NUT, HEX, 15.783mm (5/8")	STAINLESS STEEL
6.	LOCKWASHER, EXTERNALTOOTH, 15.783mm (5/8")	STAINLESS STEEL
7.	TIGHTENING BOLT WITH 15.783mm (5/8") NUT & WASHER	STAINLESS STEEL
8.	CLEVIS PIN W/COTTER PIN	STAINLESS STEEL
9.	BALANCE ADJUSTOR, 12.626mm (1/2") SLOT(A.O.B.E.)	MALLEABLE IRON, HD GALVANIZED
10.	CHECKNUT, 37.878mm (1 1/2")	IRON, HD GALVANIZED
11.	SERRATED LOCKRING	IRON, HD GALVANIZED
12.	GASKET	NEOPRENE
13.	WASHER	STEEL, HD GALVANIZED
14.	CAST NIPPLE	IRON
15.	CONDUIT LOCKNUT, 37.878mm (1 1/2")	ALUMINUM
16.	ORTHOGONAL CAP, 37.878mm (1 1/2") X 22.096mm (7/8")	ALUMINUM, PAINTED
17.	NIPPLE, 37.878mm (1 1/2") X LENGTH AS REQUIRED	STEEL, PAINTED
18.	SERRATED COUPLING W/S.S. SET SCREWS	IRON
19.	WIRE OUTLET BODY W/RUBBER GROMMET & STAINLESS STEEL SETSCREWS	IRON, PAINTED
20.	NIPPLE, 37.878mm (1 1/2") X LENGTH AS REQ'D	STEEL, PAINTED
21.	2,3, OR 4 WAY CENTER JUNCT. HUB AS REQ'D & W/STAINLESS STEEL SETSCREWS	IRON, PAINTED
22.	NIPPLE, 37.878mm (1 1/2") X LENGTH AS REQ'D W/TAPERED THREADS	STEEL, PAINTED
23.	TEE SERRATED, 37.878mm (1 1/2") & W/STAINLESS STEEL SETSCREWS	ALUMINUM OR IRON, PAINTED
24.	OCTAGONAL CLOSURE CAP, 37.878mm (1 1/2") X 34.722mm (1 3/8")	ALUMINUM, PAINTED
25.	2,3,OR 4 WAY LOWER ARM, AS REQ'D	STEEL, PAINTED

BRACKET MOUNT ASSEMBLY ITEMS		
680.8111	TRAFFIC SIGNAL BRACKET ASSEMBLY - 1 WAY	EA
680.8112	TRAFFIC SIGNAL BRACKET ASSEMBLY - 2 WAY	EA
680.8113	TRAFFIC SIGNAL BRACKET ASSEMBLY - 3 WAY	EA
680.8114	TRAFFIC SIGNAL BRACKET ASSEMBLY - 4 WAY	EA

NOTES: FOR OVERHEAD SIGN ASSEMBLIES AND SIGNAL HEADS
 THE BRACKET MOUNT ASSEMBLY TABLE CONSISTS OF TYPICAL TRAFFIC SIGNAL HEAD HARDWARE. THOSE PARTS WHICH ARE NORMALLY SUPPLIED PAINTED DARK GREEN SHALL HAVE GLOSSY AREAS LIGHTLY SANDED, CLEANED AND GIVEN TWO COATS OF COLD GALVANIZING COMPOUND TO MAINTAIN COLOR UNIFORMITY. THE GALVANIZING AREAS SHALL RECEIVE THE SAME TREATMENT. PARTICULAR ATTENTION SHALL BE PAID TO THREADED AREAS FOR PROPER CLEANING PRIOR TO APPLYING THE TWO COATS OF COLD GALVANIZING COMPOUND.

TRAFFIC SIGNAL DETAILS
 PROPOSED MEDICAL OFFICE BUILDING
 NEW YORK INTERNATIONAL PLAZA
 TOWN OF NEW WINDSOR

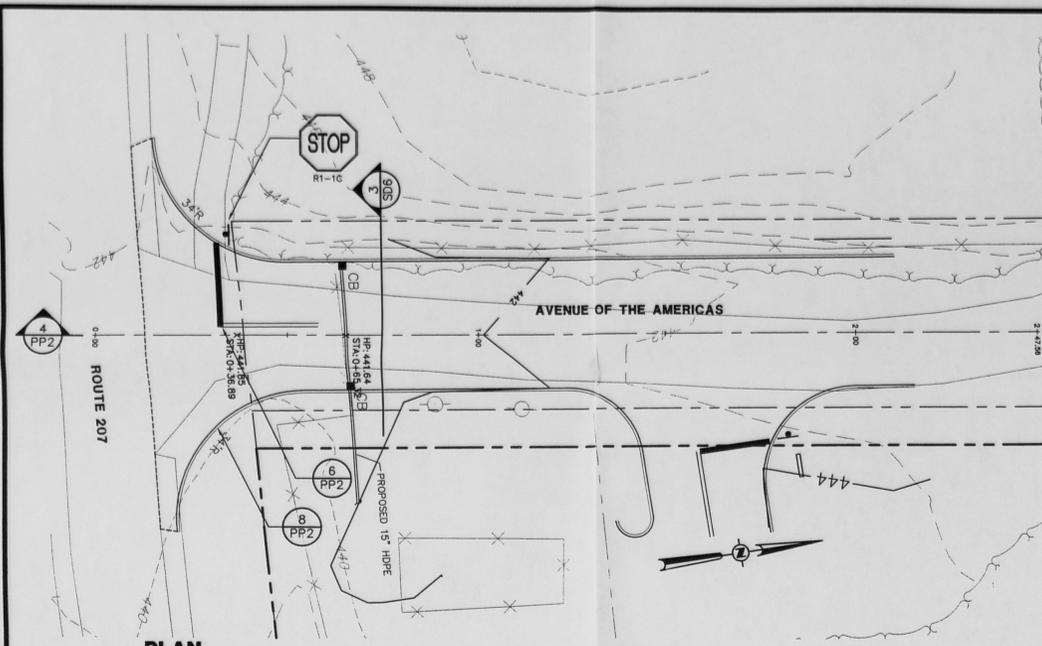
CMEI
 CREGG MANNING ENGINEERING, LLP
 4 AUTOMATION LANE, ALBANY, NY 12205
 FIRST COLUMBIA LLC
 26 CENTURY HILL DRIVE
 LATHAM NY 12110

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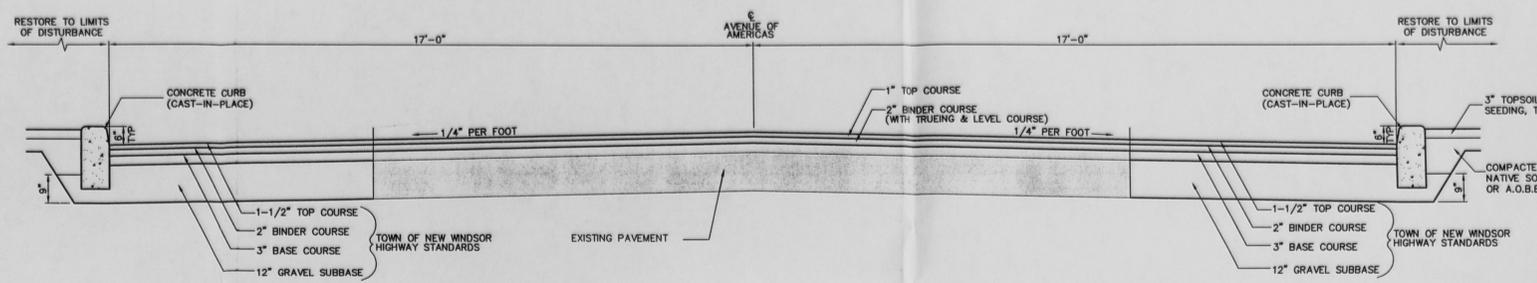
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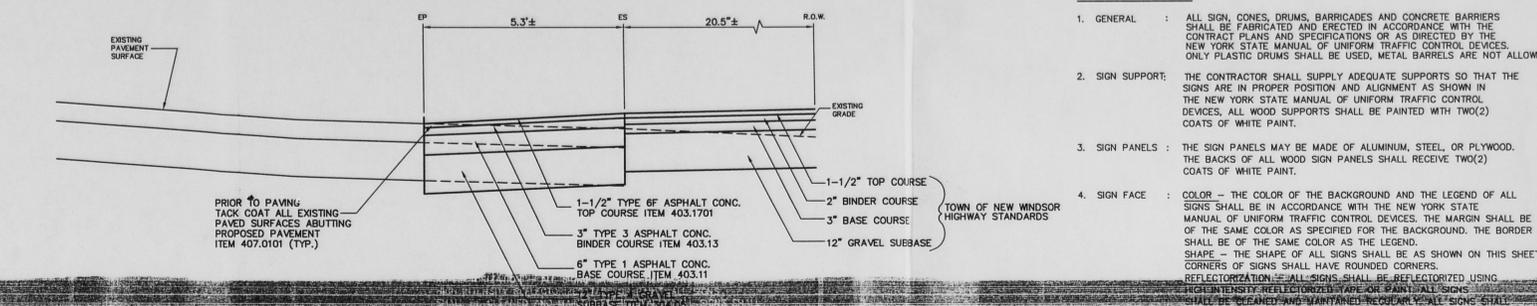
PROJ. NO. 02-091
TSD2
 SHEET 11 OF 13



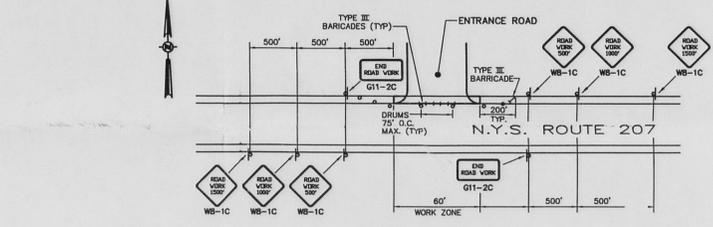
1 PLAN ENTRANCE ROAD
SCALE: 1"=20'
PP2



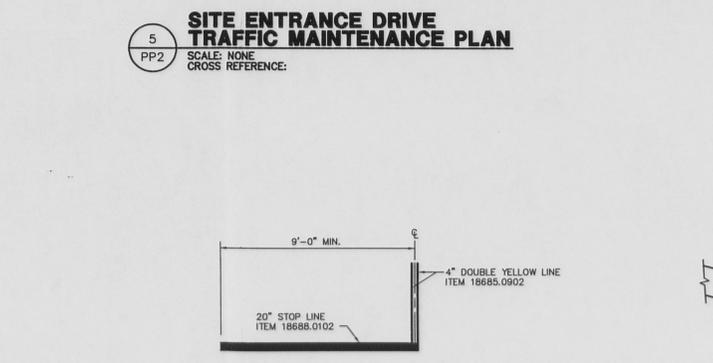
3 TYPICAL ENTRANCE CROSS SECTION
SCALE: 1/2"=1'-0"
PP2 CROSS REFERENCE:



4 TYPICAL ENTRANCE TRANSITION
SCALE: 1/2"=1'-0"
PP2 CROSS REFERENCE:



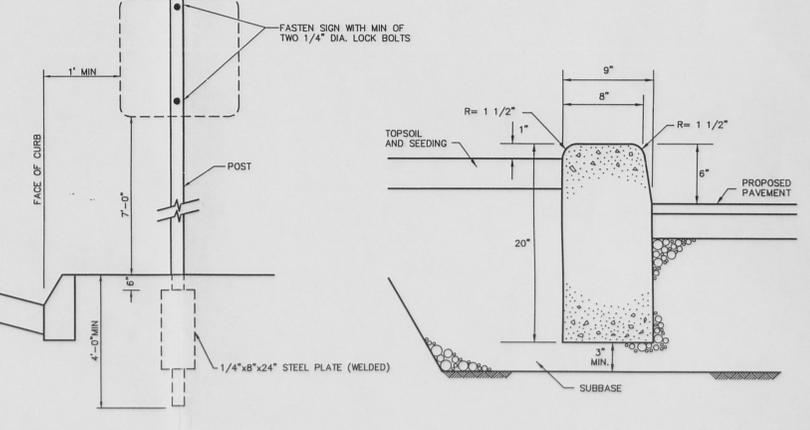
5 SITE ENTRANCE DRIVE TRAFFIC MAINTENANCE PLAN
SCALE: NONE
PP2 CROSS REFERENCE:



6 ENTRANCE STRIPING DETAIL
SCALE: NONE
PP2 CROSS REFERENCE:

TRAFFIC MAINTENANCE NOTES:

- DRUMS MAY BE USED AS A SUBSTITUTE FOR TYPE III BARRICADES AS ORDERED BY THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION.
- LIGHTS ON FIRST BARRICADE FLASHING, ALL OTHERS WITH BE STEADY BURNING.

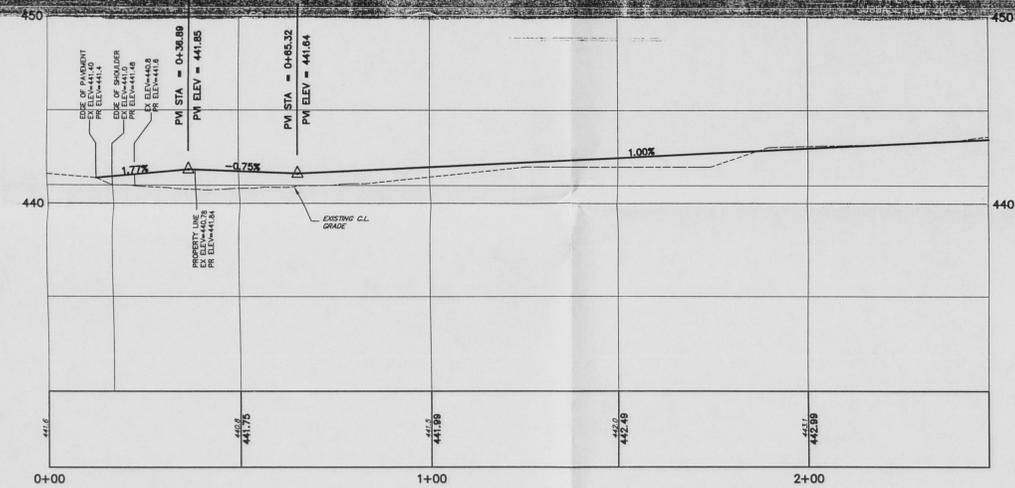


7 R.O.W. SIGN MOUNTING DETAIL
SCALE: NONE
PP2 CROSS REFERENCE:

8 CONCRETE CURB DETAIL
SCALE: NONE
PP2 CROSS REFERENCE:

SIGNAGE NOTES:

- GENERAL:** ALL SIGN, CONES, DRUMS, BARRICADES AND CONCRETE BARRIERS SHALL BE FABRICATED AND ERECTED IN ACCORDANCE WITH THE CONTRACT PLANS AND SPECIFICATIONS OR AS DIRECTED BY THE NEW YORK STATE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES. ONLY PLASTIC DRUMS SHALL BE USED, METAL BARRIERS ARE NOT ALLOWED.
- SIGN SUPPORT:** THE CONTRACTOR SHALL SUPPLY ADEQUATE SUPPORTS SO THAT THE SIGNS ARE IN PROPER POSITION AND ALIGNMENT AS SHOWN IN THE NEW YORK STATE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES. ALL WOOD SUPPORTS SHALL BE PAINTED WITH TWO(2) COATS OF WHITE PAINT.
- SIGN PANELS:** THE SIGN PANELS MAY BE MADE OF ALUMINUM, STEEL, OR PLYWOOD. THE BACKS OF ALL WOOD SIGN PANELS SHALL RECEIVE TWO(2) COATS OF WHITE PAINT.
- SIGN FACE:** COLOR - THE COLOR OF THE BACKGROUND AND THE LEGEND OF ALL SIGNS SHALL BE IN ACCORDANCE WITH THE NEW YORK STATE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES. THE MARGIN SHALL BE OF THE SAME COLOR AS SPECIFIED FOR THE BACKGROUND. THE BORDER SHALL BE OF THE SAME COLOR AS THE LEGEND. SHAPE - THE SHAPE OF ALL SIGNS SHALL BE AS SHOWN ON THIS SHEET. CORNERS OF SIGNS SHALL HAVE ROUNDED CORNERS. REFLECTORIZATION - ALL SIGNS SHALL BE REFLECTORIZED USING HIGH-INTENSITY REFLECTORIZED TYPE A OR PARTIAL SIGNS SHALL BE OBTAINED AND MAINTAINED REGULARLY. ALL SIGNS SHALL BE REVIEWED AT NIGHT AFTER ERECTION. ANY SIGNS NOT MEETING PROPER REFLECTION REQUIREMENTS WILL BE REPLACED. LETTERING AND BORDERS - SIGN LETTERING, BORDERS AND MARGINS SHALL BE IN ACCORDANCE WITH THE NEW YORK STATE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
- SIGN LOCATION:** ALL SIGNS SHALL BE LOCATED AS SHOWN ON THE CONTRACT PLANS OR AS SPECIFIED BY N.Y.S.D.O.T. SIGNS SHALL BE GENERALLY LOCATED ON THE RIGHT SIDE OF THE HIGHWAY FACING APPROACHING TRAFFIC. THE NEAR EDGE OF THE SIGN SHALL BE BETWEEN 6 AND 12 FEET FROM NEAREST EDGE OF THE TRAVELED ROADWAY OR BETWEEN 2 AND 12 FEET FROM THE FACE OF THE VERTICAL CURB. SIGNS SHOULD GENERALLY BE PLACED AT RIGHT ANGLES TO TRAFFIC. ROADSIDE SIGNS SHOULD BE MOUNTED SO THAT THE BOTTOM OF THE SIGN IS APPROXIMATELY 5 FEET ABOVE THE EDGE OF PAVEMENT. SIGNS MOUNTED ON BARRICADES OR TEMPORARY SIGNS IN THE ROADWAY MAY BE AT LOWER HEIGHTS. ALL SIGNS SHALL BE LOCATED SO AS TO BE PLAINLY VISIBLE TO TRAFFIC.
- MAINTENANCE:** THE CONTRACTOR SHALL KEEP SIGNS CLEANED AND CLEARED AT ALL TIMES. ALL SIGNS SHALL BE THE PROPERTY OF THE CONTRACTOR AND SHALL BE MAINTAINED IN GOOD CONDITION FOR THE DURATION OF THE CONTRACT. ALL SIGNS SHALL BE REMOVED FROM THE WORK SITE WHEN THE CONTRACT WORK IS ACCEPTED.



2 PROFILE ENTRANCE ROAD
SCALE: HORZ 1"=20'
VERT 1"=4'
PP2 CROSS REFERENCE:

GENERAL NOTES:

- THE CONTRACTOR SHALL NOTIFY THE ORANGE CO. NYS DOT RESIDENT ENGINEER IN WRITING WHEN CONSTRUCTION WILL BEGIN, AT LEAST TWO (2) WEEKS PRIOR TO THE START OF WORK. PRIOR TO LEAVING THE WORK SITE EACH DAY, THE CONTRACTOR SHALL REMOVE OR PROTECT ANY PART OF THE WORK SITE THAT MAY BE CONSIDERED HAZARDOUS TO THE TRAVELLING PUBLIC. REPLACE BARRICADES WITH LIGHTED PLASTIC DRUMS DURING ALL NON-WORKING HOURS. WHEN NEW SHOULDER MATCHES EXISTING PAVEMENT ELEVATION OR AS REQUIRED BY THE N.Y.S.D.O.T. IN ADDITION TO THE ABOVE NOTES, THE CONTRACTOR SHALL FOLLOW ALL NOTES ATTACHED TO THE NYS DOT WORK PERMIT.
- MATERIALS AND CONSTRUCTION SPECIFICATIONS SHALL CONFORM TO THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS DATED JANUARY 2, 1990 WITH CURRENT ADDENDA AND MODIFICATIONS.
- WITHIN THIS CONTRACT THERE ARE SUBSURFACE AND AERIAL UTILITIES THROUGHOUT THE CONTRACT LIMITS. MOST OF THE EXISTING UTILITIES ARE SHOWN, HOWEVER, THEIR EXACT LOCATIONS CANNOT ALWAYS BE ACCURATELY DETERMINED AND ADDITIONAL UTILITIES ARE POSSIBLE. WHEN THE CONTRACTOR IS GOING TO WORK IN AN AREA WHERE THE PLANS INDICATE UTILITIES EXIST, OR WHERE PHYSICAL EVIDENCE INDICATES THERE IS A POSSIBILITY OF ADDITIONAL UTILITIES, THE CONTRACTOR SHALL CALL ANY PUBLIC OR PRIVATE UTILITY OWNER WHICH MIGHT BE INVOLVED AND HAVE THEM LOCATED, AS ACCURATELY AS POSSIBLE. ALL THEIR UTILITIES BEFORE STARTING WORK. IF THE CONTRACTOR SHOULD DAMAGE ANY EXISTING UTILITY THE CONTRACTOR SHALL REPAIR THAT UTILITY TO THE SATISFACTION OF THE OWNER AT THE CONTRACTOR'S EXPENSE. 48 HOURS BEFORE DIGGING, DRILLING, OR BLASTING THE CONTRACTOR SHALL CALL U.F.P.O. 1-800-962-7962 TOLL FREE.
- THE CONTRACTOR WILL NOT BE PERMITTED TO CLOSE DOWN ANY TRAFFIC LANES DURING PEAK HOURS (7 AM - 9 AM AND 4 PM - 6 PM), AND AS OTHERWISE NOTED, UNLESS WRITTEN PERMISSION IS GRANTED IN ADVANCE FROM THE N.Y.S.D.O.T. ORANGE COUNTY RESIDENT ENGINEER.



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THE Chazen COMPANIES
Engineers/Surveyors
Planners
Environmental Scientists

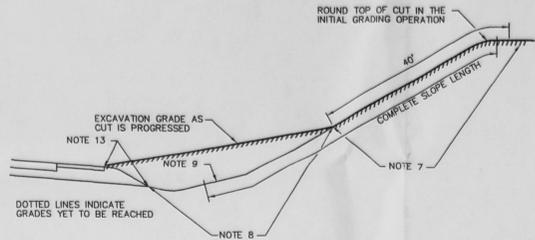
CHAZEN ENGINEERING & LAND SURVEYING CO., P.C.

Dutchess County Office: 283 Route 17N, Poughkeepsie, NY 12603, Phone: (845) 454-5880
Orange County Office: 20 Quaker Avenue, Newburgh, New York 12550, Phone: (845) 567-1133
Capital District Office: 20 Quaker Avenue, Troy, New York 12182, Phone: (518) 235-8250
North Country Office: 110 Glen Street, Glens Falls, New York 12801, Phone: (518) 812-2205

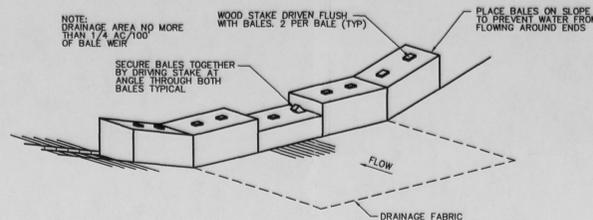
rev.	date	description

FIRST COLUMBIA LLC
NEW YORK INTERNATIONAL PLAZA
RTE. 207 / AVENUE OF THE AMERICAS
AVENUE OF THE AMERICAS
PLAN, PROFILE & DETAILS
TOWN OF NEW WINDSOR, ORANGE COUNTY, NEW YORK

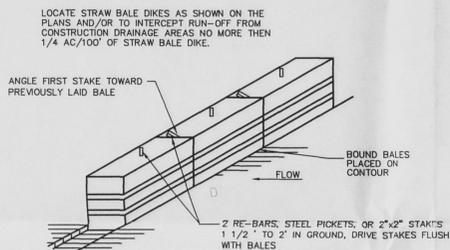
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date	11/20/01	scale	AS NOTED
project no.	30014.02		
sheet no.	PP2		



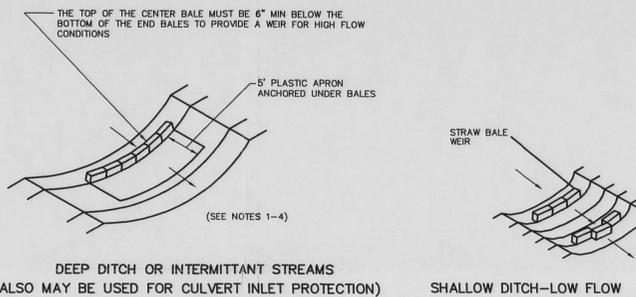
1 SEEDING AND MULCHING GUIDES (CUT SLOPES)
SCALE: NONE
CROSS REFERENCE:



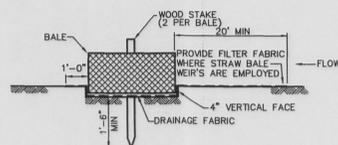
2 HAY OR STRAW BALE WEIR DETAIL
SCALE: NONE
CROSS REFERENCE:



3 HAY OR STRAW BALE DIKE DETAIL
SCALE: NONE
CROSS REFERENCE:



4 HAY OR STRAW BALE CHECK DAM
SCALE: NONE
CROSS REFERENCE: 2/SD1



5 STRAW BALE BEDDING
SCALE: NONE
CROSS REFERENCE: 2/SD1, 3/SD1

NOTES:

- CONSTRUCTION IS TO PROCEED IN ACCORDANCE WITH THE CONSTRUCTION PHASING SCHEDULE SUPPLIED BY THE CONTRACTOR OR SHOWN ON THE PLANS. ALL ELEMENTS OF EASEMENTS AND RIGHT-OF-WAY CONSTRUCTION ARE TO BE COMPLETED PRIOR TO BEGINNING THE NEXT CONSTRUCTION PHASE. THESE ELEMENTS INCLUDE ALL UTILITY INSTALLATION, THE BASIC COURSE OF ASPHALT, PAVING, AND ESTABLISHING GRASSES ON ALL OTHER R.O.W. AREAS AND ANY OTHER AREAS DISTURBED BY ROADWAY CONSTRUCTION. FOR TIME FRAMES OUTSIDE THE GROWING SEASON, OTHER METHODS OF SOIL STABILIZATION (SUCH AS THE USE OF JUTE MESH AND EXCELSIOR MATTING) WILL BE USED UNTIL SUCH TIME AS GRASS CAN BE ESTABLISHED.
- IMMEDIATELY FOLLOWING THE COMPLETION OF CONSTRUCTION ACTIVITIES IN ANY PORTION OF THE SITE, PERMANENT VEGETATION SHALL BE ESTABLISHED ON ALL EXPOSED SOILS.
- IN SOME INSTANCES ESTABLISHING VEGETATION ON R.O.W. AREAS WILL BE NECESSARILY DELAYED WHILE CONSTRUCTION IS IN PROGRESS. DURING THESE TIMES SEDIMENT CONTROL MEASURES WILL BE EMPLOYED TO PREVENT SEDIMENT FROM LEAVING THE SITE. VEGETATION IS TO BE ESTABLISHED IN THESE AREAS AS SOON AS IT IS PRACTICAL.
- THE SEDIMENT CONTROL MEASURES DETAILED ON THIS SHEET SHALL BE IN PLACE PRIOR TO CONSTRUCTION START-UP FOR EACH CONSTRUCTION PHASE. THESE MEASURES CONSIST OF HAY BALE DIKES, SILT FENCES, DRAINAGE DITCH SEDIMENT FILTERS, STORM DRAIN INLET FILTERS, AND STABILIZED CONSTRUCTION ENTRANCES. ONCE CONSTRUCTED, ALL MEASURES SHALL BE PROPERLY MAINTAINED AND/OR REPLACED AS NECESSARY, AND THEN REMOVED FROM THE SITE ONCE VEGETATION AND PAVEMENT ARE IN PLACE.
- TEMPORARY EROSION CONTROL PROTECTION BY MULCHING UNDER SECTION 209 MUST BE CARRIED OUT AS THE FILL IS PROGRESSED TO AVOID ALL POSSIBLE CONTAMINATION OF PONDS, STREAMS, OR OTHER WATERCOURSES. PLACEMENT OF JUTE MESH OVER THE MULCH IS RECOMMENDED TO PROVIDE POSITIVE "TACKING" OF THE MULCH AND INCREASED PROTECTION AGAINST EROSION.
- THE FILL SLOPE SHOULD BE TRIMMED AND THE PERMANENT SEEDING AND MULCHING CARRIED OUT AS SOON AS THE SLOPE IS UP TO FINAL SUBGRADE. IF SEEDING DATES ARE SPECIFIED AND THE CUT IS TRIMMED "OUT OF SEEDING SEASON," MULCH THE SLOPE AS SPECIFIED IN THE SEEDING ITEM AND SEED ON TOP OF THE MULCH IN THE NEXT SEEDING SEASON. WHEN THE FILL CANNOT BE BROUGHT TO SUBGRADE OR THE FINAL TRIM CANNOT BE OBTAINED IN A REASONABLE LENGTH OF TIME, TEMPORARY EROSION CONTROL BY MULCHING UNDER SECTION 209 WILL BE REQUIRED.
- WHEN 40' OF CUT OR EMBANKMENT SLOPE HAS BEEN COMPLETED, THE SLOPE SHOULD BE TRIMMED AND THE PERMANENT EROSION CONTROL MEASURES OF SEEDING AND MULCHING SHOULD BE CARRIED OUT. IF SEEDING DATES ARE SPECIFIED AND THE CUT IS TRIMMED "OUT OF SEASON," MULCH THE SLOPE AS SPECIFIED IN THE SEEDING ITEM AND SEED ON TOP OF THE MULCH IN THE NEXT SEEDING SEASON. THE REMAINING CUT SLOPE SHOULD BE TRIMMED AND PERMANENT SEEDING AND MULCHING DONE AS SOON AS THE FINAL GRADE IS REACHED.
- IF THE DITCH CANNOT BE COMPLETED BECAUSE PAVING IS REQUIRED OR OTHER REASONS, THE SEEDING AND MULCHING SHOULD BE COMPLETED TO THE TOP OF THE DITCH BACKSLOPE.
- THE SUBBASE MATERIAL (AND DITCH IF REQUIRED), SHOULD BE SEEDED AND MULCHED AS SOON AS THE SHOULDER IS COMPLETED UNLESS CRUSHED STONE OR SLAG IS USED.
- DAMAGE TO SURFACE WATERS RESULTING FROM EROSION AND SEDIMENTATION SHALL BE MINIMIZED BY STABILIZING DISTURBED AREAS AND BY REMOVING SEDIMENT FROM CONSTRUCTION SITE DISCHARGES.
- INsofar AS PRACTICABLE, EXISTING VEGETATION SHALL BE PRESERVED. SITE PREPARATION ACTIVITIES SHALL BE PLANNED TO MINIMIZE THE AREA AND DURATION OF SOIL DISRUPTION. ALL HEALTHY TREES OF DESIRABLE SPECIES ARE TO BE PROTECTED FROM DAMAGE. ALL UNNECESSARY REMOVAL OF HEALTHY TREES SHALL BE AVOIDED.
- PERMANENT TRAFFIC CORRIDORS SHALL BE ESTABLISHED AND "TROUTES OF CONVENIENCE" SHALL BE AVOIDED. CONSTRUCTION TRAFFIC SHALL NOT CROSS STREAMS OR DITCHES EXCEPT AT SUITABLE CROSSING FACILITIES, AND SHALL NOT OPERATE UNNECESSARILY WITHIN WATERWAYS OR DRAINAGE DITCHES.
- TOPSOIL AND FILL THAT IS TO REMAIN STOCKPILED ON-SITE FOR PERIODS GREATER THAN 30 DAYS SHALL BE STABILIZED BY SEEDING. PRIOR TO THE SEEDING OPERATION, THE STOCKPILED MATERIAL SHALL BE GRADED AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDBED PREPARATION, SEEDING, MULCH APPLICATION, AND MULCH ANCHORING. IN NO CASE SHALL ERODIBLE MATERIALS BE STOCKPILED WITHIN 25 FT OF ANY DITCH, STREAM, OR OTHER SURFACE WATER.
- DIG BALES IN 2" (2" MINIMUM FOR SOFT GROUND). STAKE ALL BALES TO RESIST WATER FORCES. HAY BALES SHOULD EXTEND FAR ENOUGH UP SLOPE TO PREVENT WATER FROM FLOWING AROUND ENDS AND CAUSING WASHOUT. HAY BALES COLLECT OIL UNDER LOW FLOW CONDITIONS. HAY BALES SHOULD BE USED IN DRAINAGE CHANNELS FROM MAINTENANCE AREA.
- IMMEDIATELY FOLLOWING COMPLETION OF ANY AND ALL OF THE PROPOSED STORM DRAIN INLETS, STORM DRAIN INLET HAY BALE FILTERS SHALL BE CONSTRUCTED. THE HAY BALE FILTERS SHALL FUNCTION TO PREVENT SEDIMENT ENTRANCE TO THE STORM DRAINS. THEY SHALL BE MAINTAINED IN GOOD CONDITION UNTIL FINAL VEGETATIVE COVER IS WELL ESTABLISHED.
- HAY BALE BERMS SHALL BE CONSTRUCTED AROUND ALL STOCKPILES OF FILL, TOPSOIL AND EXCAVATED OVERBURDEN THAT ARE TO REMAIN EXPOSED FOR PERIODS LESS THAN 30 DAYS. HAY BALE BERMS SHALL BE ANCHORED AND MAINTAINED IN GOOD CONDITION UNTIL SUCH TIME AS SAID STOCKPILES ARE REMOVED AND STOCKPILING AREAS ARE BROUGHT TO FINAL GRADE AND PERMANENTLY STABILIZED.
- ALL WATER POLLUTION CONTROL METHODS SHALL CONFORM TO SECTION 209 OF THE N.Y.S.D.O.T. STANDARD SPECIFICATIONS JANUARY 2, 1990.



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THE Chazen COMPANIES
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rev.	date	description

FIRST COLUMBIA LLC
**NEW YORK INTERNATIONAL PLAZA
RTE. 207 / AVENUE OF THE AMERICAS**
TYPICAL DETAILS
TOWN OF NEW WINDSOR, ORANGE COUNTY, NEW YORK

drawn	checked
SMF	VPA
date	scale
11/20/01	AS NOTED
project no.	
30014.02	
sheet no.	
	SD1